

**CITY OF LA CAÑADA FLINTRIDGE**

**ORDINANCE NO. 516**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LA CAÑADA FLINTRIDGE, CALIFORNIA, AMENDING VARIOUS SECTIONS OF THE DOWNTOWN VILLAGE SPECIFIC PLAN TO IMPLEMENT THE ADOPTED 2021-2029 HOUSING ELEMENT**

**WHEREAS**, on October 4, 2022, the City Council of the City of La Cañada Flintridge adopted Resolution No. 22-35 adopting the 2021-2029 Housing Element, and on February 21, 2023, the City Council of the of the City of La Cañada Flintridge adopted Resolution No. 23-08 adopting a revised 2021-2029 Housing Element; and

**WHEREAS**, Government Code §65454 states that no specific plan may be adopted or amended unless the proposed plan or amendment is consistent with the general plan; and

**WHEREAS**, the proposed amendments to the Downtown Village Specific Plan (DVSP) include the creation of a new Housing Element Implementation Overlay Zone to allow multifamily residential on sites in the Institutional land use district that are owned by religious facilities, the rezoning of certain Mixed Use (MU) 1 and MU 2 properties to new MU 12 (12 du/ac to 15 du/ac) and MU 25 (25 du/ac to 30 du/ac) land use districts, elimination of certain single-family residential properties from the MU 2 land use district, amendment of the height in the DVSP sites with a density of 25-30 du/ac to allow a 35-foot maximum height and allow reduced setbacks, other minor changes to text, tables and maps to ensure consistency with the 2021-2029 Housing Element, as identified within Exhibit “A”, attached to this Ordinance; and

**WHEREAS**, an Initial Study was prepared for the Project in compliance with the California Environmental Quality Act (CEQA) and CEQA Guidelines. Based on the Initial Study, it was determined that the project would not have a significant effect on the environment and a Negative Declaration has been prepared for the project. The Negative Declaration /Initial Study was circulated for public review from July 14, 2023 through August 14, 2023; and

**WHEREAS**, on August 30, 2023, a noticed public hearing on the amendment to the Downtown Village Specific Plan (PLAN-2023-0002), the Planning Commission of the City of La Cañada Flintridge adopted Resolution No. 23-62 recommending that the City Council approve the amendment to Downtown Village Specific Plan (PLAN-2023-0002) to implement the adopted 2021-2029 Housing Element; and

**WHEREAS**, on August 31, 2023, at a duly notice was published in a newspaper of general circulation, providing notice of a public hearing before the City Council to be held on September 12, 2023, pursuant to the requirements of the La Cañada Flintridge Zoning Code and state law; and

**WHEREAS**, on September 12, 2023, the City Council reviewed the facts contained in the agenda report regarding the Zoning Code Amendments, and heard and considered the testimony of the public; including any written correspondence received, with all testimony received being made a part of the public record, and conducted the first reading and introduction of the ordinance; and

**WHEREAS**, all legal prerequisites for the adoption of this Ordinance have occurred.

**NOW THEREFORE**, the City Council of the City of La Cañada Flintridge does resolve as follows:

**SECTION 1.** The City Council of the City of La Cañada Flintridge finds and determines that the above recitals are true and correct and are incorporated herein by reference.

**SECTION 2.** *Findings for amendment of the Downtown Village Specific Plan.* The City Council hereby finds as follows:

A. Modified conditions warrant a revision in the specific plan as it pertains to the area under consideration. The adopted 2021-2029 Housing Element includes programs to implement the requirements of state housing law and increase the number and types of housing within the community. General Plan Amendment (PLAN-2023-001) amends the General Plan Land Use Element for consistency with the adopted Housing Elements, increases the minimum density within the existing Mixed Use 1 and Mixed Use 2 land use district from up to 15 du/ac to 12-15 du/ac and allows for a new Mixed Use 25 land use district with a density of 25-30 du/ac and the creation of a new Housing Element Implementation zone with a density of 25-30 du/ac. The amendments to the DVSP are necessary to ensure the Downtown Village Specific Plan is consistent with and implements the 2021-2029 Housing Element.

B. A need for the proposed amendments to the specific plan exists within such area in order for consistency and implementation of the 2021-2029 Housing Element, as well as consistency with General Plan Amendment (PLAN-2023-0001), amending the Land Use Element for consistency with the Housing Element. The amendments to the specific plan are necessary to increase the minimum density within Mixed Use 1 and Mixed Use 2 land use districts to 12-15 du/ac, and to create the new MU 25 and Housing Element Implementation zone with densities of 25-30 du/ac, allowing for development of parcels included on the Sites Inventory at the identified minimum density that demonstrate the City meets the assigned Regional Housing Needs Allocation. The amendment or creation of new objective development standards that realistically allow for development within the identified density range is also identified as a program within the adopted Housing Element.

C. The particular properties under consideration is a proper location for said amendments to the specific plan within such area because, they are identified within the Sites Inventory of the adopted 2021-2029 Housing Element and were included based on their ability to be realistically developed within the eight-year 6<sup>th</sup> Cycle Housing Element period, have suitable topography for the density range proposed, are located along or in close proximity to Foothill Boulevard, with access to public transit, a public sanitary sewer and access to commercial goods and services.

D. Placement of the proposed zone changes in the amendments to the DVSP at such locations will be in the interest of public health, safety and general welfare and in conformity with good zoning practice because the parcels identified on the Sites Inventory are located along a major commercial corridor and separated from single-family residential uses, are located adjacent to or in close proximity to Foothill Boulevard along which existing mass transit operates, the sites are generally served by all necessary utilities including public sewer, the sites do not contain any physical constraints such as excessive slope that would present difficulties for construction of higher density residential development. Additionally, a Negative Declaration/ Initial Study determined that the Project will not have a significant effect on the environment. The proposed project advances the goals, objectives and policies of the General Plan. The project utilizes Smart Growth practices which protects open space, natural resources and wildlife habitats by channeling development away from undeveloped area toward urban infill instead. By allowing higher density on urban infill locations near transit, the pressure to locate housing elsewhere in

the City is alleviated. Further, the project will generate economic benefits for the local business community, City General Fund, and La Cañada Unified School District which benefits the general community.

**SECTION 3.** The amendment to Chapters 6 and 7 of the Downtown Village Specific Plan (PLAN-2023-0002), attached hereto as Exhibit “A” in text and map form and incorporated by reference, are hereby adopted and incorporated into the Downtown Village Specific Plan.

**SECTION 4.** If any section, subsection, subdivision, paragraph, sentence, clause or phrase of this Ordinance, or its application to any Person or circumstance, is for any reason held to be invalid or unenforceable, such invalidity or unenforceability shall not affect the validity or enforceability of the remaining sections, subsections, subdivisions, paragraphs, sentences, clauses or phrases of this Ordinance, or its application to any other Person or circumstance. The City Council hereby declares that it would have adopted each section, subsection, subdivision, paragraph, sentence, clause or phrase of this Ordinance, irrespective of the fact that any one or more other sections, subsections, subdivisions, paragraphs, sentences, clauses or phrases hereof be declared invalid or unenforceable.

**SECTION 5.** The City Clerk shall certify to the passage and adoption of this Ordinance and shall make a minute of the passage and adoption thereof in the records of and the proceeding of the City Council at which the same is passed and adopted. This Ordinance shall take effect thirty (30) days after its adoption in accordance with California Government Code Section 36937. The City Clerk shall cause a summary of this ordinance to be published in accordance with Government Code Section 36933 in a newspaper of general circulation, which is hereby designated for that purpose.

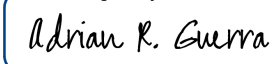
**PASSED, APPROVED AND ADOPTED** this 19th day of September, 2023.

DocuSigned by:  
  
6E04404A7DAB4E...  
Richard B. Gunter III, Mayor

ATTEST:

DocuSigned by:  
  
94AE4A4BA9FF48B...  
Tania Garcia, City Clerk

**APPROVED AS TO FORM:**  
ALESHIRE & WYNDER, LLP

DocuSigned by:  
  
793906C33D394DC...  
Adrian Guerra, City Attorney

State of California )  
County of Los Angeles ) ss.  
City of La Cañada Flintridge )

I, Tania Garcia, City Clerk of the City of La Cañada Flintridge, California, DO HEREBY CERTIFY that the foregoing Ordinance No. 516 was introduced for first reading on September 12, 2023. Thereafter, said Ordinance was duly approved and adopted at a regular meeting of the City Council on September 19, 2023, by the following vote:

AYES: COUNCILMEMBERS: BOWMAN, DAVITT, WALKER, GUNTER, AND EICH  
NOES: COUNCILMEMBERS: NONE  
ABSENT: COUNCILMEMBERS: NONE  
ABSTAIN: COUNCILMEMBERS: NONE

Dated: September 19, 2023

DocuSigned by:  
*Tania Garcia*  
94AE4A4BA9FF48B  
Tania Garcia, City Clerk

**Exhibit “A”**

Chapter 6 and 7 of the Downtown Village Specific Plan, including maps

# Chapter Six: Land Use

## LA CAÑADA FLINTRIDGE

### Draft Revisions to Downtown Village Specific Plan to Implement Rezoning in Accordance with Adopted 6<sup>th</sup> Cycle Housing Element

~~July~~ September 12, 13, 2023

(Note: Text that is underlined is proposed new text; text shown in ~~strike-through~~ is proposed to be deleted)

This chapter establishes the land use districts for the Downtown Village Specific Plan. This chapter is organized as follows:

- 6.1 Downtown Village Specific Plan Land Use Districts
- 6.2 Permitted Uses in the Downtown Village Specific Plan
- 6.3 Existing Single-Family Use Exemption
- 6.4 Existing Use Exemption in the Park District
- 6.5 Nonconforming Uses - Conditional Use Permits
- 6.6 Development on Lots Divided by District Boundaries
- 6.7 Criteria for Senior Citizen Multiple-family Dwellings
- 6.8 Flexible Park District Boundary

### 6.1 Downtown Village Specific Plan Land Use Districts

A City goal is to strengthen the Downtown Village Specific Plan area as the “heart” of the community and as the logical place for people to live, gather, shop and do business. The land use districts in the Downtown Village Specific Plan are intended to support this goal through elements of design and appropriate mixed use development. These land use districts, combined with the development standards and design guidelines in Chapter 7, provide for the orderly improvement of the Downtown Village Specific Plan area based on the following features:

- A mixture of land uses to encourage walking as an alternative to driving, and to provide more retail and housing options.
- Provision of both formal and informal community gathering places through the use of parks, plazas, walkways and a village square.
- Distinct storefront character, which identifies La Cañada Flintridge’s Downtown.
- Design standards and guidelines to maintain and enhance the city’s low-density, residential character.
- A range of housing types, including single-family, multiple-family and senior housing.
- By-right approval for multi-family projects with 15% affordable units.

Figure 6.1 is the zoning map for the Downtown Village Specific Plan. The land use districts identified in Figure 6.1 are described below. **(NOTE – Existing DVSP Figure 6.1 will be replaced. The proposed draft DVSP Figure 6.1 can be viewed by selecting the link on the City’s Housing Element website.)**

#### 6.1.1 Mixed Use 1

The Mixed Use 1 district is established to provide opportunities for mixtures of retail, office, and residential uses in the same building. Mixed Use 1 is designed primarily to create and enhance retail, residential, and

pedestrian-focused environments, such as the Village Center. Therefore, this zone requires retail and other appropriate commercial uses, as permitted in Table 6.1, at the ground-floor level to maintain and encourage activity in the Village Center.

Office or residential development is allowed on the second level with retail development on the ground floor. Retail development is also allowed on both levels without a requirement for accompanying residential or office uses.

### **6.1.2 Mixed Use 2**

The Mixed Use 2 district is established to provide opportunities for mixtures of retail, office and residential uses in the same building, on the same parcel of land, or side by side within the same area. Multi-family residential development is allowed at densities up to 15 unit per acre without a requirement for retail or other commercial uses. Retail or other commercial development is allowed pursuant to the development standards and design guidelines in Chapter 7 of this Specific Plan without a requirement for accompanying residential uses.

### **6.1.3 Mixed Use 12**

The Mixed Use 12 district is established for sites on the Sites Inventory for the 6<sup>th</sup> Cycle Housing Element. The Mixed Use 12 district is established to provide opportunities for mixtures of retail, office, and residential uses in the same building, as well as stand-alone multi-family residential development. Mixed

Use 12 is designed primarily to create and enhance retail, residential, and pedestrian-focused environments, such as the Village Center. Office uses are only allowed on the second level and not on the ground floor. Retail and/or residential development is allowed on both levels. Density allowed for residential development is 12 – 15 dwelling units per acre. FAR of 0.5 is established for 100% commercial projects, and FAR of 1.5 is established for mixed use projects. The MU 12 designation is applied in areas where a transition in density along Foothill Boulevard is desired.

### **6.1.4 Mixed Use 25**

The Mixed Use 25 district is established for sites on the Sites Inventory for the 6<sup>th</sup> Cycle Housing Element. The Mixed Use 25 district is established to provide opportunities for mixtures of retail, office and residential uses in the same building, on the same parcel of land, side by side within the same area, or stand-alone multi-family residential. Multi-family residential development is allowed at densities of 25-30 units per acre without a requirement for retail or other commercial uses. FAR of 0.5 is established for 100% commercial projects, and FAR of 1.5 is established for mixed use projects. Retail or other commercial development is allowed

pursuant to the development standards and design guidelines in Chapter 7 of this Specific Plan without a requirement for accompanying residential uses.

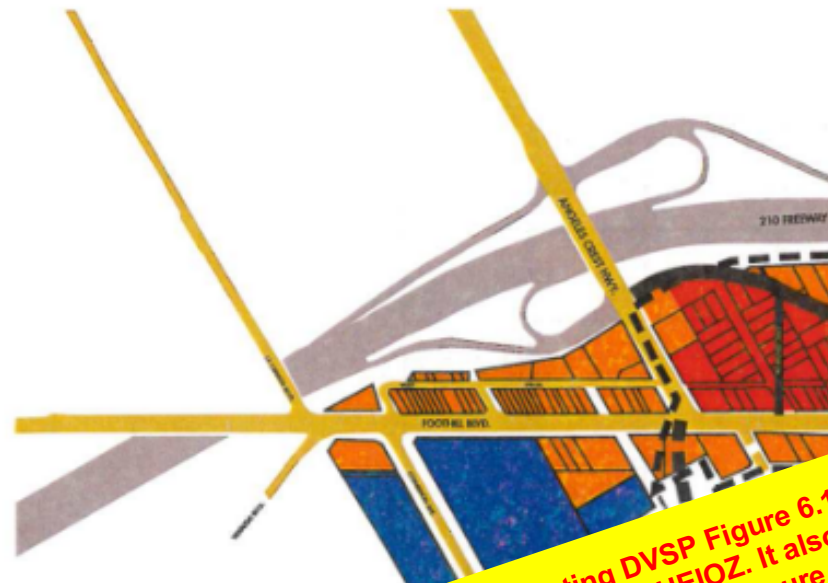
### **6.1.35 Institutional**

The Institutional district is established to provide areas in the Downtown Village Specific Plan for a variety of public, quasi- public and institutional facilities. The existing public and quasi- public uses in the Specific Plan area, including schools, churches, the community center, library, post office, and water district are designated Institutional. Multifamily residential development is permitted on sites with the Institutional land use designation only on properties owned and operated by religious institutions that also have the DVSP-HEIOZ, and must include at least 15% of the units for very low, low, and/or moderate income households. Development standards for housing on religious institution sites are set out in Chapter 7 of this Specific Plan.

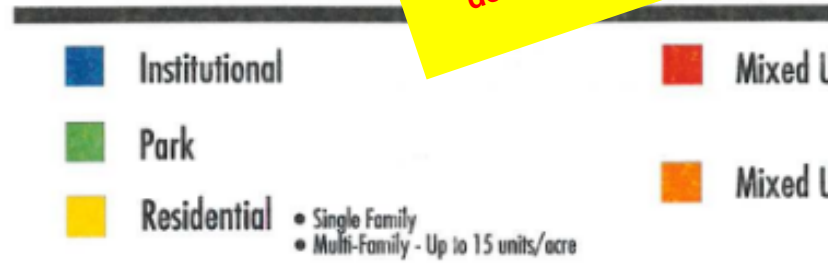
### **6.1.46 Residential**

The Residential district is established to provide an area in the Downtown Village Specific Plan for condominiums, apartments or townhouses that are located in the heart of downtown and are located within walking distance of the City's main retail, restaurant and civic area. Multi-family residential development is allowed at densities up to 15 units per acre. This district also allows single family residential development with a minimum lot size of 5,000 square feet.





**NOTE: Existing DVSP Figure 6.1 will be replaced with a new figure that also shows the new MU 12 and MU 25 districts and the new DVSP-HEIOZ. It also has been revised to be consistent with the configuration of Town Center as it has been developed. The draft figure, as proposed, can be viewed by selecting the link on the City's Housing Element website.**



**Figure 6.1: Land Use Districts**

**6.1.57 Parks**

The Park district is established to provide areas for public parks and open spaces in the Downtown Village Specific Plan. The Park district also accommodates athletic fields where size permits, as well as outdoor amphitheaters and their associated structures and uses.

**6.2 Permitted Uses in the Downtown Village Specific Plan**

The following uses shall be permitted in the Downtown Village Specific Plan where the symbol “P” appears and shall be permitted subject to a Conditional Use Permit where the “CUP” symbol appears. Where the symbol “NP” appears, the uses are not permitted in that land use district. Uses subject to review and approval by the Director of Community Development are listed as “Director’s Review.” All other uses not specifically listed are prohibited, provided, however, that the Planning Commission may determine that any use not listed is comparable to a listed use and shall be treated in a similar manner. Such determination is appealable to the City Council. A list of all comparable use determinations shall be kept on file in the Planning Department.

Projects subject to Design Review prior to development or a change in use include:

- Non-residential projects requiring building permits for exterior work.
- Multiple-family residential projects requiring building permits for exterior work.
- Permanent signage and/or awnings.
- Landscaping in connection with a required design review.

~~All permitted uses in all land use districts with a gross floor area greater than 10,000 square feet require a Conditional Use Permit.~~

Draft – July 13 September 12, 2023

**NOTE – DVSP Tables 6.1, 6.2, 6.3, and 6.4 will be removed from this document (shown below via strike-through). A new DRAFT DVSP Table 6.1, which combines Tables 6.1, 6.2, 6.3, and 6.4 and adds permitted uses for the proposed new MU 12 and MU 25 districts, can be viewed by selecting the link on the City’s Housing Element website.**

**Table 6.1  
Permitted Uses In the Mixed Use 1 and Mixed Use 2 Districts**

	<b>MIXED USE 1</b>	<b>MIXED USE 2</b>
<del>Accessory uses and structures, incidental and subordinate to the principal use or structure on the same lot</del>	Director’s-Review	Director’s-Review
<del>Alcoholic beverage sales, whether consumption on or offsite and whether alone or in conjunction with other uses</del>	CUP	CUP
<del>Art galleries</del>	P	P
<del>Automobile sales, excluding outdoor sales lots</del>	NP	NP
<del>Automobile supply stores</del>	NP	P
<del>Automotive services – minor – Service or repair to motorized vehicles which do not affect the body or frame. Minor automotive services include: gasoline service stations; smog control certification; tire sales or installation; glass installation; radiator repair; detail shops; or other similar service or repair. All repair activities shall be conducted within an enclosed building</del>	NP	CUP
<del>Banks, savings and loans</del>	P	P
<del>Car Wash (enclosed and automated), as accessory use to gas station</del>	NP	CUP
<del>Commercial schools, including the arts, grooming, manual training, shop work, tutoring</del>	CUP	CUP
<del>Commercial uses located below residential uses (any commercial use with a residential use on the level above)</del>	CUP	CUP
<del>Day care centers for children</del>	CUP	CUP
<del>Dry cleaners</del>	CUP	CUP
<del>Food markets, including grocery stores, supermarkets and specialty food stores</del>	P <sup>+</sup>	P <sup>+</sup>
<del>Government and administrative offices and facilities</del>	CUP	CUP
<del>Health clubs, gymnasiums, aerobics studios</del>	CUP	CUP
<del>Home occupations, pursuant to the standards established in the Zoning Code</del>	P – Upper level only	P
<del>Hotels, motels, bed and breakfast inns</del>	NP	CUP

	<b>MIXED USE 1</b>	<b>MIXED USE 2</b>
<del><b>Service businesses</b>, including but not limited to adjustment and collection agencies, advertising agency, business management services, credit agency, duplicating, addressing, blue printing, photocopying, mailing and stenographic services, employment agency, office equipment rental agency, repair shops, telephone answering service, and other business services such as bondsman, drafting, detective agency, notary public and like services</del>	CUP - upper-level only	P
<del><b>Schools through grade 12</b>, accredited, including appurtenant facilities, which offer instruction required by the State Education Code</del>	CUP	CUP

<del><b>Telecommunications equipment and antennae</b>, pursuant to the standards established in the Zoning Code</del>	CUP	CUP
<del><b>Temporary storage of materials and construction equipment</b> used in construction or maintenance for a period not to exceed one year</del>	CUP	CUP
<del><b>Temporary uses and events</b></del>	Director's Review	Director's Review
<del><b>Theaters</b> and other auditoriums</del>	CUP	CUP
<del><b>Travel agencies</b></del>	CUP	CUP

<sup>1</sup> ~~Food markets greater than 12,500 square feet shall be prohibited in Subareas 1 and 2 of the Downtown Village Specific Plan. Subareas 1 and 2 are defined in Section 7.2.6.~~

<sup>2</sup> ~~The top of any parking structure may be developed and used for recreational purposes with a Conditional Use Permit.~~

<sup>3</sup> ~~Outdoor speakers require Planning Commission review.~~

**Table 6.2**  
**Permitted Uses In the Institutional District**

	<b>INSTITUTIONAL</b>
<del>Churches, temples, and other places used exclusively for religious worship, including customary incidental educational and social activities</del>	CUP
<del>Day care centers for children</del>	CUP
<del>Energy and communication control stations, general utility only</del>	P
<del>Fire stations</del>	CUP
<del>Gas metering &amp; control (public utility)</del>	P
<del>Government and administrative offices and facilities</del>	CUP
<del>Hospitals</del>	CUP
<del>Libraries</del>	P
<del>Museums</del>	P
<del>Post Office</del>	CUP
<del>Other publicly owned uses</del>	CUP
<del>Lodge halls, clubhouses, meeting rooms</del>	CUP
<del>Residential care home and facilities</del>	CUP
<del>Schools through grade 12, accredited, including appurtenant facilities, which offer instruction required by the State Education Code</del>	CUP
<del>Telecommunications equipment and antennae, pursuant to the standards established in the Zoning Code</del>	CUP

**Table 6.3**  
**Permitted Uses in the Residential District**

	<b>RESIDENTIAL</b>
<del>Home occupations, pursuant to the standards established in the Zoning Code</del>	P
<del>Residential: Single-family dwelling</del>	P
<del>Residential: Senior citizen multiple-family dwelling (maximum 15 units per acre) pursuant to the criteria established in Section 6.7 of this Plan</del>	CUP

**Table 6.4**  
**Permitted Uses in the Park District**

	<b>PARK</b>
<del>Public parks and their accessory structures</del>	P
<del>Athletic fields, recreational uses and their accessory uses and structures</del>	CUP
<del>Amphitheaters and their accessory uses and structures</del>	CUP

### **6.3 Existing Single-Family Use Exemption**

Notwithstanding any provision of this Chapter to the contrary, any single-family residential building and/or residential accessory structure which is in existence under a valid building permit, or for which building permits have been issued as of the date of the adoption of this Ordinance, and which would otherwise be rendered nonconforming solely by reason of application of this Chapter, shall not be deemed to have acquired a nonconforming status as defined by the Zoning Code, but shall be deemed to be a legal use. As a legal use, additions, modifications, repairs to, or reconstruction of the single-family residential buildings or structures shall be permitted, including any such work necessary as a result of the single-family residential building and/or accessory structure being damaged or destroyed by any cause. All such additions, modifications, repairs or reconstruction shall comply with and be subject to all the regulations pertaining to single-family residential zones in the City.

### **6.4 Existing Use Exemption in the Park District**

Notwithstanding any provision of this Chapter to the contrary, any commercial building and/or associated accessory structure located within the Park district, which is in existence under a valid building permit, or for which building permits have been issued as of the date of the adoption of this Ordinance, and which would otherwise be rendered nonconforming solely by reason of application of this Chapter, shall not be deemed to have acquired a nonconforming status as defined by the Zoning Code, but shall be deemed to be a legal use. As a legal use, repairs to, or reconstruction of the buildings or structures shall be permitted, including any such work necessary as a result of the building and/or accessory structure being damaged or destroyed by any cause. Additions and modifications to such commercial buildings and/or associated accessory structures shall be prohibited.

## 6.5 Nonconforming Uses - Conditional Use Permits

Any use which is nonconforming for failure to have a valid and approved conditional use permit shall be required to process and receive approval of a conditional use permit or terminate such use upon the occurrence of any one of the following:

- i. Destruction by natural disaster or accident (i.e., fire, earthquake) of fifty percent or more of a structure's square footage at the time of destruction;
- ii. Enlargement or expansion of use, structure or property or other improvements to the property, other than those mandated by federal, state or county agencies in compliance with regulatory provisions;
- iii. Change of tenant;
- iv. Change of use.

## 6.6 Development on Lots Divided by District Boundaries

Because the Specific Plan is a long term planning document intended to create a downtown environment, land use districts are applied to the Specific Plan area based on the desired design for the City's Downtown. Therefore, land use district designations do not always follow lot line boundaries. It is likely that implementation of the Specific Plan will necessitate future lot consolidation and/or reconfiguration of lot boundaries in certain areas.

On a lot that is divided by a land use district boundary, the owner shall apply to the entire lot the regulations of the district that exceeds fifty (50) percent of the lot area. If requested by the property owner, the Planning Director may make a finding that the land use district on the smaller portion of the lot shall apply to the entire lot if such zoning is more compatible with surrounding uses and supports the intent of the Specific Plan.

## 6.7 Criteria for Senior Citizen Multiple-family Dwellings

Senior citizen multiple-family dwellings are permitted as listed in Tables 6.1 through 6.4, provided that all of the following criteria are met:

- 6.7.1 The building(s) or structure(s) are designed specifically for housing for senior citizens.
- 6.7.2 The property owner has entered into a covenant, running with the land, requiring that the senior citizen housing development shall be maintained pursuant to the following conditions:
  - i. That at least one person in residence in each dwelling unit be required to be a senior citizen and that each other resident in the same dwelling unit shall be a qualified permanent resident.
  - ii. That a person hired for compensation to provide live-in, long-term or terminal *heath* care to a senior citizen may occupy the dwelling unit for such period of time the person is providing the service.
  - iii. That upon death, dissolution of marriage, or upon hospitalization or other prolonged absence of the senior citizen, any qualified permanent resident shall be entitled to continue occupancy of the dwelling unit with the full rights of the senior citizen.
  - iv. That temporary residency shall be permitted by a person of less than 45 years of age for periods of time, not less than 60 days in any year, as specified in the covenant.
  - v. That for purposes of this Chapter and the covenant, "senior citizen" shall mean a person 62 years of age or older; and "qualified permanent resident" shall mean a person who is both residing with the senior citizen prior to death, hospitalization or other prolonged absence of, or dissolution of marriage with

the senior citizen, and is 45 years of age or older, or was a spouse, cohabitant or person providing primary physical or *economic* support to the senior citizen.

6.7.3. The covenant has been submitted to the City for review and approval by the City Attorney and recorded in the Office of the County Recorder prior to issuance of building permits for the senior citizen housing development.

## 6.8 Flexible Park District Boundary

The final boundary of Park district designation as set forth in Figure 6.1 may be modified as to exact location and size as approved by the Planning Commission without the requirement to amend this Specific Plan.

The final location and size of the Village Square Park shall be a minimum of 0.75 acres, be generally rectangular in form, with a minimum length and width of 130 feet and shall front on the north side of Foothill Boulevard. The final location and size of Oak Park shall be a minimum of one acre, adjacent to the City library with a corridor finger minimum width of 30 feet to Commonwealth Avenue, a corridor finger minimum width of 50 feet to Foothill Boulevard, and a pedestrian connection to the North Road.

**DVSP Table 6.1****Permitted Uses In the Mixed Use 1, ~~and Mixed Use 2~~, Mixed Use 12, Mixed Use 25, Institutional, Residential, and Park Districts****Table Legend:**

P = Permitted

Director's Review = Director's Review per LCFMC Chapter 11.45

CUP = Conditional Use Permit per LCFMC Chapter 11.43

X = Not Permitted

M = Ministerial Approval

	MIXED USE 1	MIXED USE 2	MIXED USE 12	MIXED USE 25	Institutional	Residential	Park
<b>Accessory uses and structures</b> , incidental and subordinate to the principal use or structure on the same lot	Director's Review	Director's Review	Director's Review	Director's Review	X	X	X
<b>Affordable housing projects per Section 11.36.150</b>	M	M	M	M	X	X	X
<b>Alcoholic beverage sales</b> , whether consumption on or offsite and whether alone or in conjunction with other uses	CUP	CUP	CUP	CUP	X	X	X
<b>Amphitheaters</b> and their accessory uses and structures	X	X	X	X	X	X	CUP
<b>Art galleries</b>	P	P	P	P	X	X	X
<b>Athletic fields, recreational uses</b> and their accessory uses and structures	X	X	X	X	X	X	CUP
<b>Automobile sales</b> , excluding outdoor sales lots	X	X	X	X	X	X	X
<b>Automobile supply stores</b>	X	P	X	P	X	X	X
<b>Automotive services</b> - minor - Service or repair to motorized vehicles which do not affect the body or frame. Minor automotive services include: gasoline service stations; smog control certification; tire sales or installation; glass installation; radiator repair; detail shops; or other similar service or repair. All repair activities shall be conducted within an enclosed building	X	CUP	X	CUP	X	X	X
<b>Banks, savings and loans</b>	P	P	P	P	X	X	X
<b>Car Wash</b> (enclosed and automated), as accessory use to gas station	X	CUP	X	CUP	X	X	X
<b>Commercial schools</b> , including the arts, grooming, manual training, shop work, tutoring	CUP	CUP	CUP	CUP	X	X	X
<b>Commercial uses located below residential uses</b> (any commercial use with a residential use on the level above)	CUP	CUP	CUP	CUP	X	X	X
<b>Day care centers for children</b>	CUP	CUP	CUP	CUP	CUP	X	X
<b>Dry cleaners</b>	CUP	CUP	CUP	CUP	X	X	X
<b>Energy and communication control stations</b> , general utility only	X	X	X	X	P	X	X
<b>Fire Stations</b>	X	X	X	X	CUP	X	X
<b>Food markets</b> , including grocery stores, supermarkets and	P <sup>1</sup>	P <sup>1</sup>	P <sup>1</sup>	P <sup>1</sup>	X	X	X



	MIXED USE 1	MIXED USE 2	MIXED USE 12	MIXED USE 25	Institutional	Residential	Park
specialty food stores							
<b>Gas metering &amp; control</b> (public utility)	X	X	X	X	P	X	X
<b>Government and administrative offices and facilities</b>	CUP	CUP	<u>CUP</u>	<u>CUP</u>	CUP	X	X
<b>Health clubs, gymnasiums, aerobics studios</b>	CUP	CUP	<u>CUP</u>	<u>CUP</u>	X	X	X
<b>Hospitals</b>	X	X	X	X	CUP	X	X
<b>Home occupations</b> , pursuant to the standards established in the Zoning Code	P	P	<u>P</u>	<u>P</u>	<u>P<sup>5</sup></u>	<u>P<sup>5</sup></u>	X
<b>Hotels, motels, bed and breakfast inns</b>	X	CUP	<del>X</del>	<u>CUP</u>	X	X	X
<b>Libraries</b>	X	X	<del>X</del>	<del>X</del>	P	X	X
<b>Lodge halls, clubhouses, meeting rooms</b>	X	X	<del>X</del>	<del>X</del>	CUP	X	X
<b>Medical and Health Services</b> , including hospitals, laboratories as a primary use, supplies, rental sales and service, veterinary office and clinics which do not have outdoor kennels, animal hospitals and ambulance services	X	CUP	<del>X</del>	<u>CUP</u>	X	X	X
<b>Museums</b>	X	X	<del>X</del>	<del>X</del>	P	X	X
<b>Nurseries</b> , including growing of plant stock	X	P	<del>X</del>	<u>P</u>	X	X	X
<b>Other publicly owned uses</b>	X	X	<del>X</del>	<del>X</del>	CUP	X	X
<b>Outside storage and displays</b>	Director's Review	Director's Review	<u>Director's Review</u>	<u>Director's Review</u>	X	X	X
<b>Parking as a principal use<sup>2</sup></b>	CUP	CUP	<u>CUP</u>	<u>CUP</u>	X	X	X
<b>Personal service establishments</b> , such as barber and beauty shops, shoe repair, photographic studios	P	P	<u>P</u>	<u>P</u>	X	X	X
<b>Pet grooming</b> , excluding boarding	X	CUP	<del>X</del>	<u>CUP</u>	X	X	X
<b>Pet sales</b>	CUP	CUP	<u>CUP</u>	<u>CUP</u>	X	X	X
<b>Plumbing shops</b>	X	CUP	<del>X</del>	<u>CUP</u>	X	X	X
<b>Pool service and supply</b>	X	P	<del>X</del>	<u>P</u>	X	X	X
<b>Post Offices</b>	X	X	<del>X</del>	<del>X</del>	CUP	X	X
<b>Professional offices</b> , including business, medical and dental offices and accessory laboratories	CUP – upper level only	CUP	<u>CUP – upper level only</u>	<u>CUP</u>	X	X	X
<b>Public parks and their accessory structures</b>	X	X	<del>X</del>	<del>X</del>	X	X	P
<b>Real estate offices</b>	CUP	CUP	<u>CUP</u>	<u>CUP</u>	X	X	X
<b>Recreation facilities</b> , including tennis, golf, skateboard park, bowling alley, dance hall, skating rink, indoor soccer field, and other similar uses, together with appurtenant clubhouse	CUP	CUP	<u>CUP</u>	<u>CUP</u>	X	X	X
<del>Churches, temples, Religious institutions and facilities</del> and other places used exclusively for religious worship, including customary incidental educational and social activities	X	X	<del>X</del>	<u>CUP</u>	CUP	X	X
<b>Residential: Multiple-family<sup>8</sup> dwelling</b> (– maximum 15 units per acre)	CUP – upper level only	CUP	<u>P<sup>7</sup></u>	<del>X</del>	X	X	X
<del>Residential: Multiple-family - 12 to 15 units per acre<sup>6</sup></del>	<del>CUP – upper level only</del> X	<u>CUPX</u>	<u>P</u>	<del>X</del>	<del>X</del>	<del>X</del>	<del>X</del>
<del>Residential: Multiple-family - 25 to 30 units per acre<sup>6</sup></del>	<del>X</del>	<del>X</del>	<del>X</del>	<u>P</u>	<u>P<sup>4</sup></u>	X	X
<b>Residential: Senior citizen multiple-family dwelling<sup>8</sup></b> (maximum	CUP – upper	CUP	<u>P</u>	<u>P</u>	<u>P<sup>4</sup></u>	CUP	X



	MIXED USE 1	MIXED USE 2	<u>MIXED USE 12</u>	<u>MIXED USE 25</u>	Institutional	Residential	Park
15 units per acre, <a href="#">except for sites developed in accordance with the DVSP-HEIOZ</a> pursuant to the criteria established in Section 6.7 and Chapter 7 of this Plan	level only						
<b>Residential: Single-family dwelling</b>	X	X	X	X	X	P	X
<b>Residential care home and facilities</b>	X	X	X	X	CUP	X	X
<b>Restaurants</b> & other eating establishments, including food take-out and catering, but excluding drive-through	P	P	<u>P</u>	<u>P</u>	X	X	X
<b>Restaurants</b> with outside eating facilities	P <sup>3</sup>	CUP	<u>P<sup>3</sup></u>	<u>CUP</u>	X	X	X
<b>Retail businesses</b> , such as variety, hardware, drug, dry goods, florists, home furnishings, clothing, photography, sporting goods, hobby, pet supply stores and similar retail uses	P	P	<u>P</u>	<u>P</u>	X	X	X
<b>Service businesses</b> , including but not limited to adjustment and collection agencies, advertising agency, business management services, credit agency, duplicating, addressing, blue printing, photocopying, mailing and stenographic services, employment agency, office equipment rental agency, repair shops, telephone answering service, and other business services such as bondsman, drafting, detective agency, notary public and like services	CUP - upper level only	P	<u>CUP - upper level only</u>	<u>P</u>	X	X	X
<b>Schools through grade 12</b> , accredited, including appurtenant facilities, which offer instruction required by the State Education Code	CUP	CUP	<u>CUP</u>	<u>CUP</u>	CUP	X	X
<b>Telecommunications equipment and antennae</b> , pursuant to the standards established in the Zoning Code	CUP	CUP	<u>CUP</u>	<u>CUP</u>	CUP	X	X
<b>Temporary storage of materials and construction equipment</b> used in construction or maintenance for a period not to exceed one year	CUP	CUP	<u>CUP</u>	<u>CUP</u>	X	X	X
<b>Temporary uses and events</b>	Director's Review	Director's Review	<u>Director's Review</u>	<u>Director's Review</u>	X	X	X
<b>Theaters</b> and other auditoriums	CUP	CUP	<u>CUP</u>	<u>CUP</u>	X	X	X
<b>Travel agencies</b>	CUP	CUP	<u>CUP</u>	<u>CUP</u>	X	X	X

**Table 6.1 Notes:**

<sup>1</sup> Food markets greater than 12,500 square feet shall be prohibited in Subareas 1 and 2 of the Downtown Village Specific Plan. Subareas 1 and 2 are defined in Section 7.2.6.

<sup>2</sup> The top of any parking structure may be developed and used for recreational purposes with a Conditional Use Permit.

<sup>3</sup> Outdoor speakers require Planning Commission review.

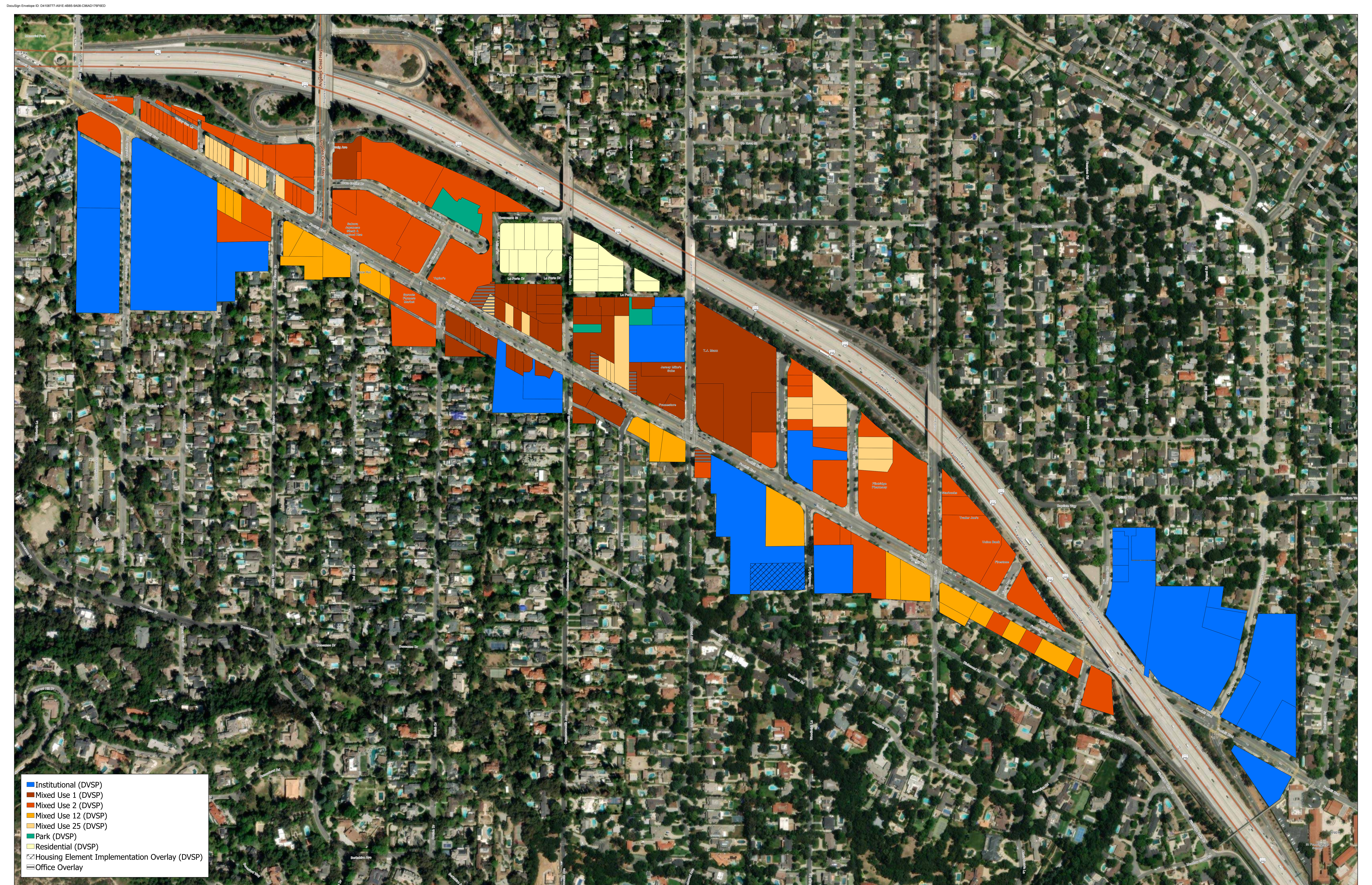
<sup>4</sup> [Only on property owned by religious institutions in the DVSP-HEIOZ, where at least 50/15% of the units are provided for very low, low, and/or moderate income households, pursuant to Chapter 7 of this Specific Plan.](#)

<sup>5</sup> [Only in association with multi-family residential permitted pursuant to Note<sup>4</sup> above.](#)

<sup>6</sup> [Density bonus projects shall be allowed in accordance with Chapter 11.19 \(Affordable Housing Density Bonus\) and as otherwise provided for in California Density Bonus Law \(Government Code Sections 65915, et seq.\).](#)

<sup>7</sup> [Development must be a minimum of 12 du/ac and maximum of 15 du/ac.](#)

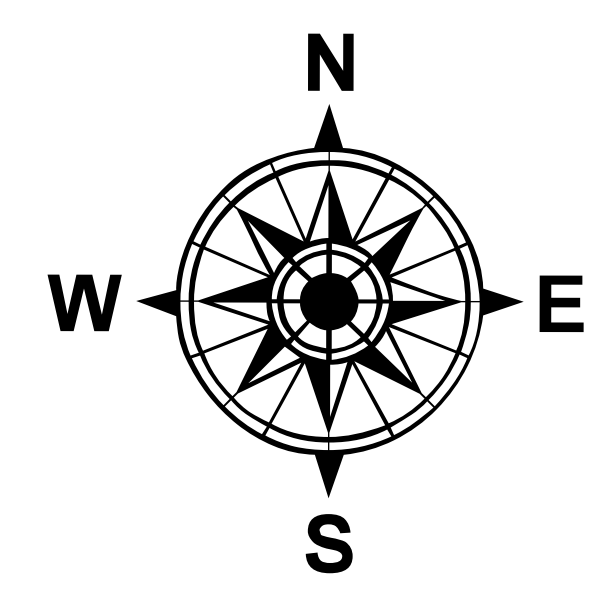




**Figure 6.1: Land Use Districts  
Downtown Village Specific Plan  
City of La Cañada Flintridge**



Updated July 10, 2023



0 500 1,000 Feet



**Chapter Seven:**

# **Development Standards and Design Guidelines**

**LA CAÑADA FLINTRIDGE**

**Draft Revisions to Downtown Village Specific Plan  
to Implement Rezonings in Accordance with  
Adopted 6<sup>th</sup> Cycle Housing Element**

**July 13September 12, 2023**

(Note: Text that is underlined is proposed new text; text shown in ~~strike-through~~  
is proposed to be deleted)

## 7 Development Standards and Design Guidelines (Draft—July 13September 12, 2023)

This chapter provides development standards and design guidelines for development in the Downtown Village Specific Plan. This chapter is organized as follows:

- 7.1 Objectives of the Standards and Guidelines
- 7.2 Development Standards for the Village Center
- 7.3 Development Standards for the Specific Plan Area Outside of the Village Center
- 7.4 Development Standards Applicable to the Entire Downtown Village Specific Plan Area
- 7.5 Development Standards for Multi-family Residential Projects in Residential or Mixed Use 2 Districts of the Downtown Village Specific Plan
- 7.6 Development Standards for Single-Family Residential Projects in the Downtown Village Specific Plan
- 7.7 Development Standards for Mixed Use Projects in the Downtown Village Specific Plan
- 7.8 Development Standards for Institutional Projects in the Downtown Village Specific plan
- [7.9 ~~Design Guidelines for the Downtown Village Specific Plan~~Development Standards for Multi-Family Residential Projects in Mixed Use 12 and Mixed Use 25 Districts of the Downtown Village Specific Plan](#)
- [7.10 Downtown Village Specific Plan \(DVSP\)-Housing Element Implementation Overlay Zone \(HEIOZ\)](#)
- [7.97.11 Design Guidelines for the Downtown Village Specific Plan](#)

### 7.1 Objectives of the Standards and Guidelines

The primary objectives of the development standards and design guidelines in the Downtown Village Specific Plan are to:

- Create a pedestrian-friendly environment.
- Preserve the unique views of the mountains and foothills.
- Maintain and enhance the city's low density character and small town atmosphere.

The standards and guidelines contained here and in the City's *Design Options Manual* (Appendix 2) and *Design Options Manual for Small Projects* are intended to assist the City in achieving these objectives. All projects should be reviewed in the context of these basic design principles. Where differences exist between the *Design Options Manual* (Appendix 2), the *Design Options Manual for Small Projects*, and the Specific Plan, the provisions of the Specific Plan shall govern.

Figure 7.1 on the opposite page illustrates the placement of retail or civic structures at the edges of streets and public parks in the Village Center. This creates a continuously active and pleasant pedestrian experience. Parking areas are also screened from view by the building placements. Other placements of buildings are allowed so long as continuity of pedestrian activity and screening of parking are achieved. Figures 7.2 and 7.3, on the following pages, also illustrate many of the standards and guidelines in the context of these primary objectives. References to these figures are noted where appropriate.

The figures and illustrations in this chapter are used to convey the intent of the Downtown Village Specific Plan. They represent one way of applying the standards and guidelines and are not intended to regulate site design and layout. To illustrate this point, Appendix 1 contains three conceptual site plans for the La Cañada Properties site that differ in overall design, but generally comply with the Design Standards and Guidelines in this Plan.



**Walkways behind structures along Foothill Boulevard and the North Road can be as attractive as the streetscapes.**





Figure 7.1: Conceptual Illustrative Plan for the Village Center



## 7 Development Standards and Design Guidelines (Draft—July 13September 12, 2023)

### 7.2 Development Standards for the Village Center

The following development standards shall apply to all development in the Village Center of the Specific Plan area. The Village Center is described and illustrated in Chapter 4 and is defined as the five block long area located between Angeles Crest Highway and Rinetti Lane within the Specific Plan boundaries.

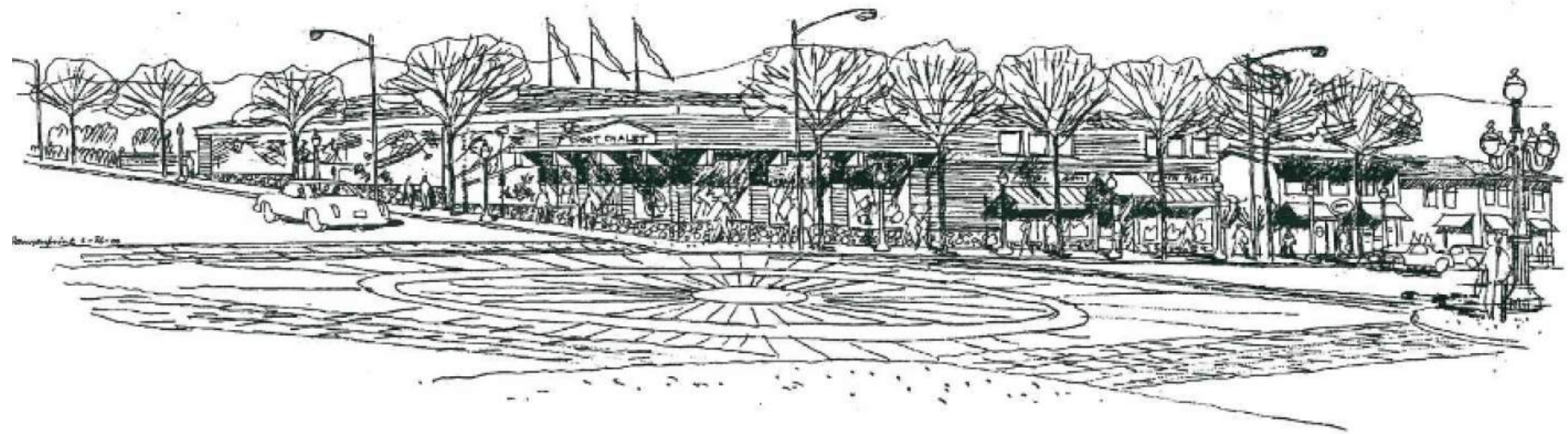
#### 7.2.1 Setbacks for Structures in the Village Center

7.2.1.1 Setbacks for commercial, and mixed use, and multi-family residential structures along Foothill Boulevard and the North Road shall be either contiguous with the front property line or up to an average of 10-5 feet from the front property line for the ground floor and second floor, and an average of ten feet for the third floor.

7.2.1.2 Where projects with only commercial uses exceed 35,000 square feet in area, a portion of the square footage may be freestanding within the development parcel, provided that there are smaller scale retail structures that provide continuous frontage along Foothill Boulevard pursuant to the setback requirement in subsection 7.2.1.1, for the purpose of screening parking areas.

7.2.1.3 No parking is allowed within the front setbacks, except that any parking that is provided in a fully underground parking structure may extend into a required front setback. The front setbacks, if provided, shall be designed in such a manner so as to not interfere with immediate pedestrian access for window-shopping or restrict access to outdoor dining areas.

7.2.1.4 At the intersection of Foothill Boulevard, Angeles Crest Highway and the realigned Chevy Chase Drive, corner setbacks of at least 20 feet shall be provided for a distance of at least 30 feet from each corner of that intersection.



***The retail edges of larger commercial structures along Foothill Boulevard will maintain the pedestrian vitality of Foothill Boulevard. Also, building forms will be stepped and/or sloped to preserve mountain views.***





Note: Building shapes are illustrative and not intended to indicate final design.

- Maintain retail or active public uses on the ground level and locate buildings at, or adjacent to, the sidewalk and/or park edges
- Encourage mid-block pass-throughs

- Provide truck loading for major eastern site off Rinetti Lane to minimize conflicts with the pedestrian environment
- Provide truck loading for major western site off the North Road to minimize conflicts with the pedestrian environment
- Provide parking access from the north-south streets or the North Road

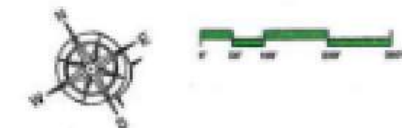


Figure 7.2: Development Standards and Design Guidelines to Create a Pedestrian Friendly Environment



## 7 Development Standards and Design Guidelines (Draft—July 13September 12, 2023)

7.2.1.5 Rear setbacks of a minimum of five feet or fifteen (15) feet shall be provided for any use adjacent adjoining to residential zones Residential land use districts on the south side of Foothill Boulevard. Any project abutting a Residential land use district shall comply with R-1 building bulk limits along the common boundary.

The general design intent of these setback requirements is illustrated in figures 7.2 and 7.3 and the sketches contained in this section of the Specific Plan. See also Appendix 1 for examples of Concept Plans which generally meet these setback requirements and other provisions of this section of the Specific Plan.

### 7.2.2. Access and Loading in the Village Center

7.2.2.1 In order to provide continuity of pedestrian activity on Foothill Boulevard and the North Road, parking access from the north-south streets or the North Road is encouraged. No driveways or curb cuts shall be allowed along the north side of Foothill Boulevard (see Figure 7.2). Development in the block bounded by Foothill Boulevard, Beulah Drive, Commonwealth Avenue and the new North Road may be temporarily exempt from this requirement until the ultimate street pattern and parking concept for this area is developed. Therefore, it may be necessary in some instances to continue to allow existing access from Foothill Boulevard until such time that the street system and parking structure for this area is constructed. Access to parking areas south of Foothill Boulevard is also encouraged to occur off of the north-south streets. However, it may be necessary in some instances to allow access from Foothill Boulevard for either existing structures or until a parking district is established to facilitate shared access points to shared lots.

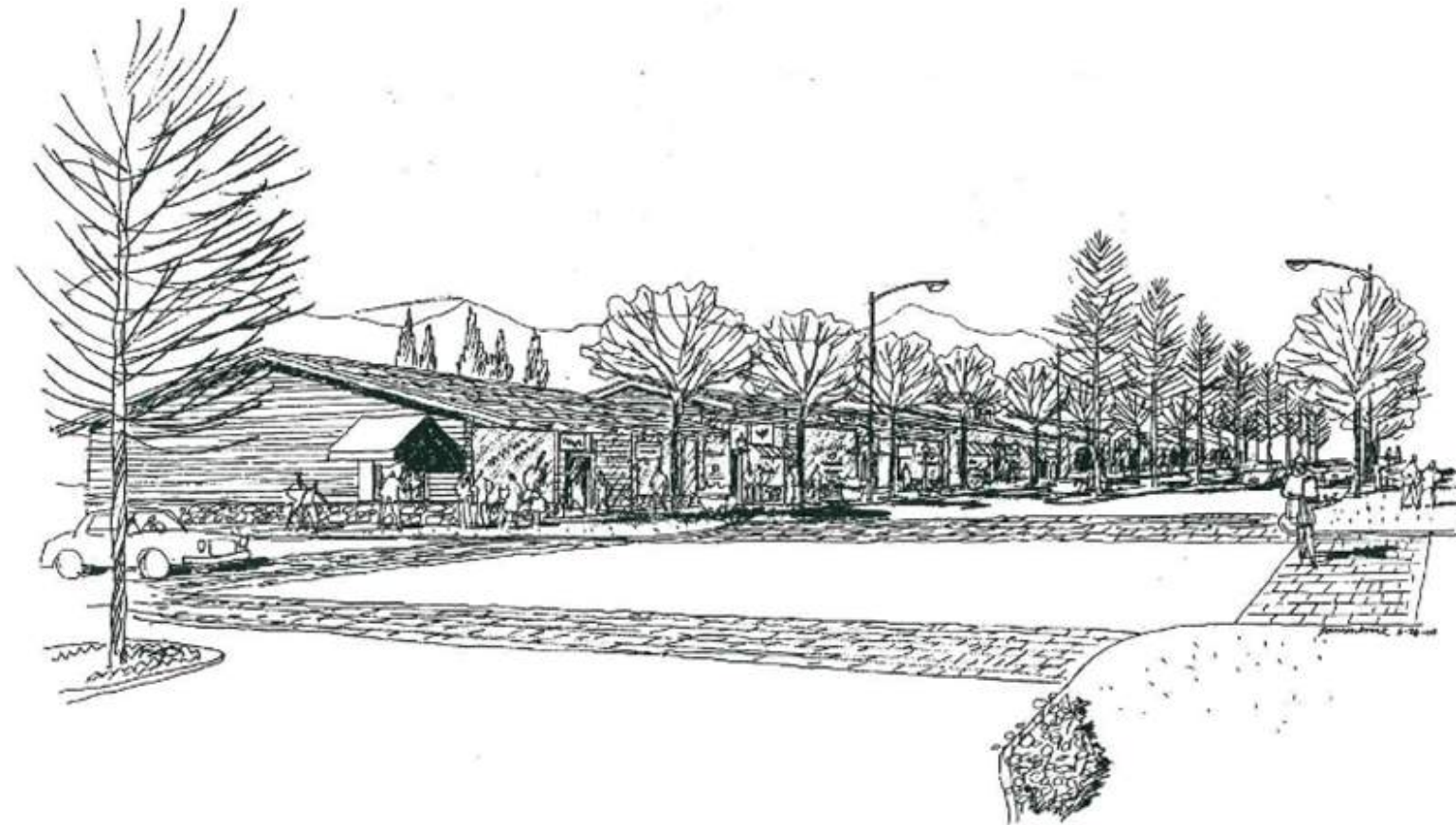
7.2.2.2 To avoid conflicts between pedestrians and semi-trucks on major streets, the following shall apply:

In Subarea 1, (see Figure 7.6) semi-truck loading areas shall be accessed from the North Road or Beulah Drive, and in Subarea 3, semi-truck loading areas shall be accessed from Rinetti Lane, as referenced in Figure 7.2. Truck loading areas shall be screened by architectural and/or landscape elements consistent with the design of the structure.

### 7.2.3 Building Height Requirements for Structures Fronting Foothill Boulevard in the Village Center

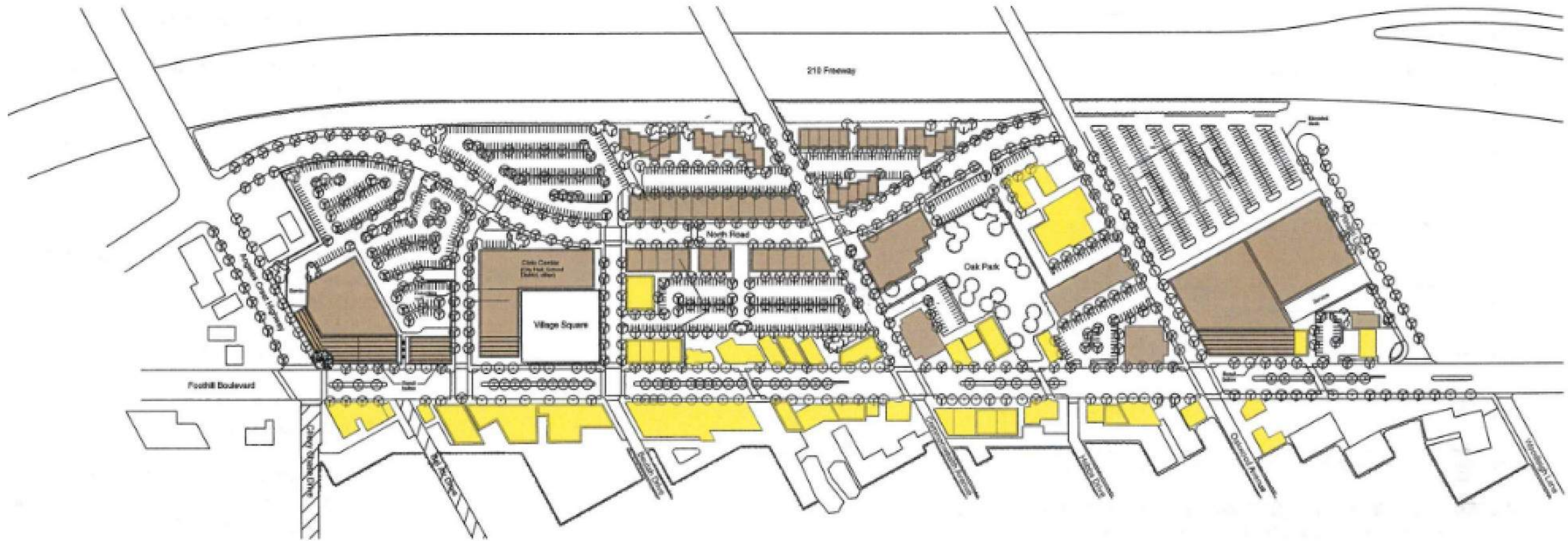
All structures fronting Foothill Boulevard in the Village Center, except institutional structures, mixed use structures, and multi-family residential structures in the MU 12 and MU 25 Districts and in the DVSP-HEIOZ, are subject to the requirements of 7.2.3.1 and 7.2.3.2 below. These height requirements shall be measured from the existing sidewalk grade along Foothill Boulevard.

Institutional structures fronting Foothill Boulevard in the Village Center are exempt from the requirements of 7.2.3.1 and 7.2.3.2 and shall be subject to the provisions of the Public/Semi-Public zone as defined in the Zoning Code.



*Development of structures with sloping roofs will maintain views of the mountains and foothills along Foothill Boulevard in the Village Center.*





Note: Building shapes are illustrative and not intended to indicate final design.

Single or two story buildings with sloped and/or stepped roofs

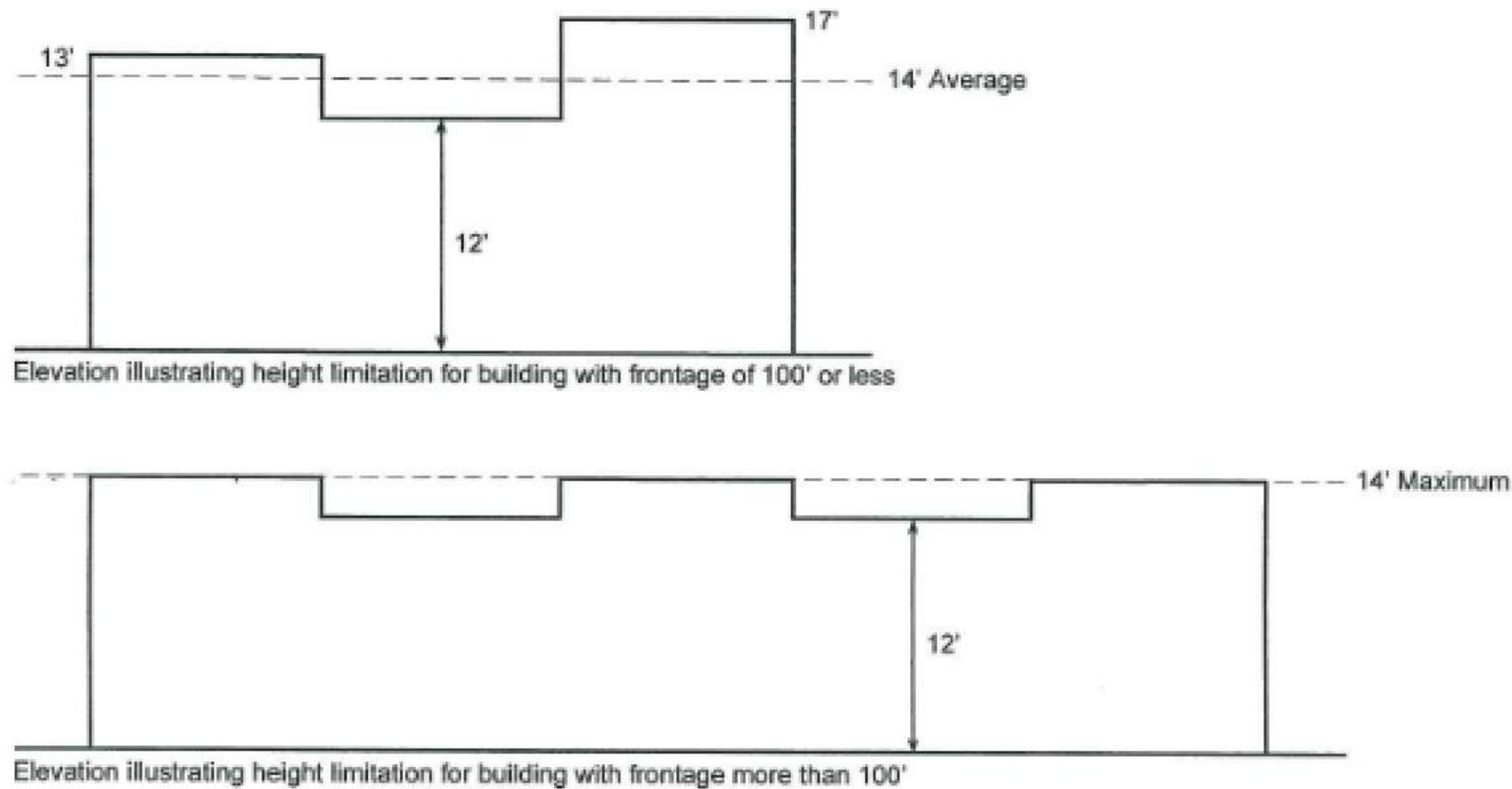
Buildings along Foothill Boulevard over 35,000 square feet in size may be up to 32 feet in height with sloped and/or stepped roofs

Two story buildings allowed



Figure 7.3: Development Standards to Preserve Mountains Views

## 7 Development Standards and Design Guidelines (Draft—July 13September 12, 2023)



**Figure 7.4: Front Façade Height Requirements for Structures Fronting Foothill Boulevard in the Village Center**



### 7.2.3.1 Front Façade Height Requirement

- i. Buildings fronting on Foothill Boulevard with a linear frontage of 100 feet or less in length shall have a maximum average height of 14 feet at the front façade elevation of the building. The 14-foot average is to be calculated on the linear frontage excluding the area allocated to architectural elements as described in 7.2.5.1.
- ii. Buildings fronting Foothill Boulevard with a linear frontage greater than 100 feet in length shall have a maximum height of 14 feet at the front façade elevation of the building.

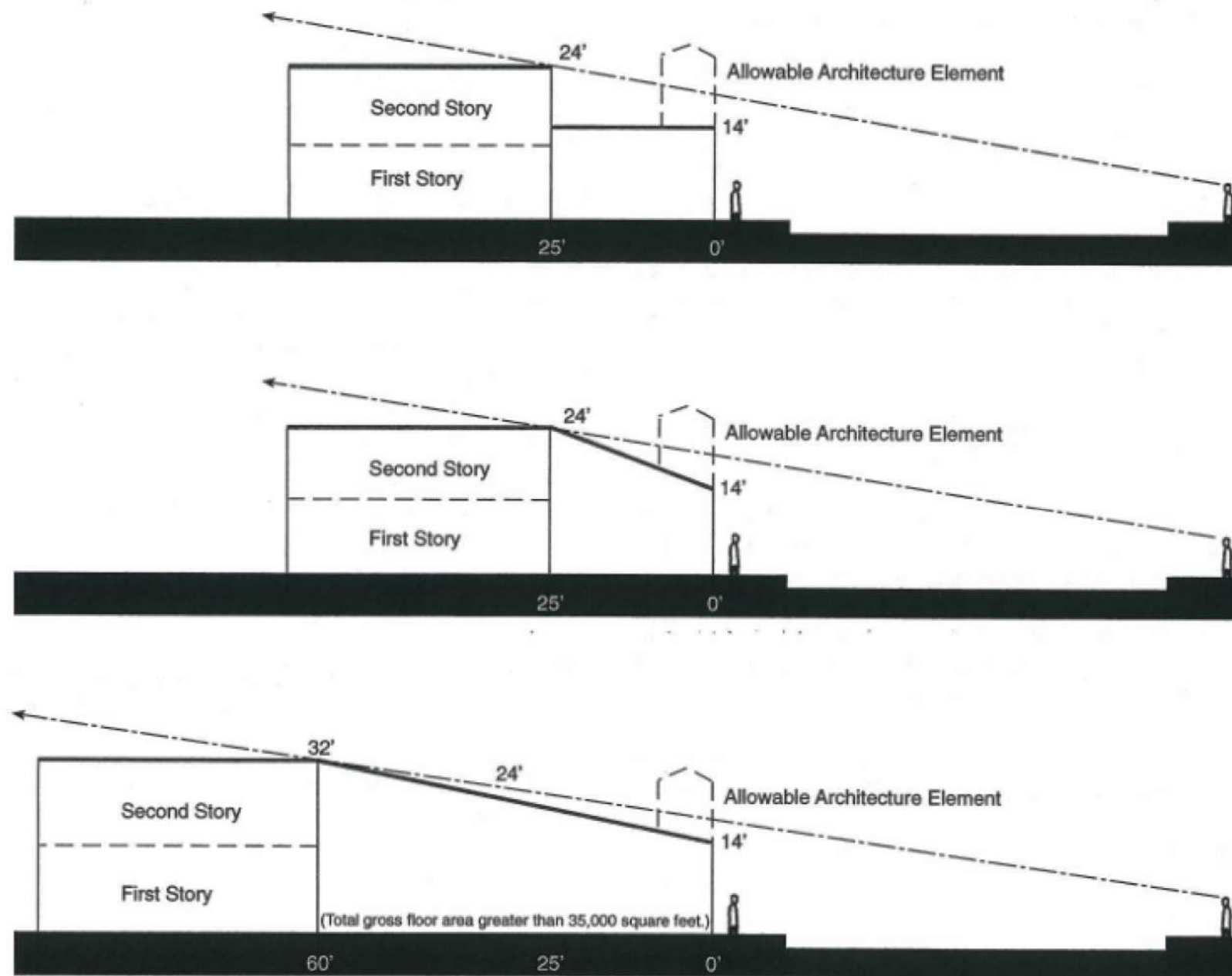
Figure 7.4 illustrates the front façade height requirements set forth in Section 7.2.3.1.

### 7.2.3.2 Roof Height Requirements

- i. For buildings fronting Foothill Boulevard with a gross floor area of 35,000 square feet or less, the building roof may slope, or the building may step, up to a maximum height of 24 feet (or 2 stories, whichever is less in height) at a distance 25 feet or more from the front property line.
- ii. For buildings fronting Foothill Boulevard with a gross floor area greater than 35,000 square feet with commercial uses only, the building roof may slope, or the building may step, up to a maximum height of 24 feet (or 2 stories, whichever is less in height) at a distance 25 feet or more from the front property line, and to a maximum height of 32 feet at a distance 60 feet or more from the front property line.

Figure 7.5 illustrates the roof height requirement set forth in Section 7.2.3.1.





**Figure 7.5: Roof Height Requirements for Structures Fronting Foothill Boulevard in the Village Center**

**7.2.4 Building Heights Requirements for Structures in the Village Center That Do Not Front on Foothill Boulevard**

7.2.4.1 The height of structures in the Village Center that are not fronting Foothill Boulevard shall not exceed 24 feet for walls and 32 feet to the highest point of the roof.

**7.2.5. Architectural Elements to Add Variety and Functionality to the Rooflines in the Village Center**

7.2.5.1 Within the general context of the height limits set forth in Section 7.2.3 and Section 7.2.4, taller architectural elements, such as building towers, may occupy up to 20 percent of the street-facing elevation of commercial projects with a linear frontage of less than 100 feet in length. The height of the architectural elements shall be a maximum of 28 feet and the wall height at the property line of the street facade shall not exceed 24 feet.

7.2.5.2 Within the general context of the height limits set forth in Section 7.2.3 and Section 7.2.4, taller architectural elements, such as building towers, may occupy up to 40 percent of the street-facing elevation of commercial projects with a linear frontage of 100 feet or more. The height of the architectural element shall be a maximum of 28 feet and the wall height at the property line of the street facade shall not exceed 24 feet.

## 7 Development Standards and Design Guidelines ~~(Draft—July 13)~~September 12, 2023

### 7.2.6 Building Size Limitation Overlay

In addition to all other requirements, for buildings with only commercial uses, building size in the Village Center shall be limited as set forth in the following Subareas (see Figure 7.6).

- 7.2.6.1 Subarea 1 shall be the area north and south of Foothill Boulevard, east of Angeles Crest Highway and west of Beulah Drive (as it would extend to the I-210 Freeway). In Subarea 1, a maximum of one building greater than 35,000 square feet but less than or equal to 55,000 square feet shall be permitted. All other buildings in Subarea 1 shall be less than 35,000 square feet. ~~Municipal buildings shall be exempt from this building size limitation.~~
- 7.2.6.2 Subarea 2 shall be the area north of Foothill Boulevard, east of Commonwealth Avenue and west of Oakwood Avenue. In Subarea 2, a maximum of one building greater than 35,000 square feet but less than or equal to 55,000 square feet shall be permitted. All other buildings in Subarea 2 shall be less than 35,000 square feet. ~~Municipal buildings shall be exempt from this building size limitation.~~
- 7.2.6.3 Subarea 3 shall be the area north of Foothill Boulevard, east of Oakwood Avenue and west of Rinetti Lane. In Subarea 3, a maximum of two buildings greater than 35,000 square feet but less than or equal to 55,000 square feet shall be permitted. All other buildings in Subarea 3 shall be less than 35,000 square feet.

Figure 7.6 illustrates the Subareas set forth in this section.

### 7.2.7 Elements of Retail Continuity along Foothill Boulevard and the North Road in the Village

The following standards shall apply to all retail or mixed use structures facing either Foothill Boulevard between Angeles Crest Highway and Rinetti Lane, or the North Road between Civic Center Drive and Oakwood Avenue.

- 7.2.7.1 Storefronts shall contain substantially the same elements as illustrated in Figure 7.7. Real architectural elements, doors, windows, etc. related to usable interior spaces *shall* be provided. “Stage set” facades created by painted images or applying detail to blank walls are prohibited.

### 7.3 Development Standards for the Specific Plan Area Outside of the Village Center

The Specific Plan area that is located outside the Village Center includes the area in the Specific Plan boundary that is west of Angeles Crest Highway and east of Rinetti Lane. For development in this area, setbacks and building height requirements shall be as defined ~~in the Community Planned Development (CPD) zone of the Zoning Code, except where specifically defined~~ in Sections 7.5 - 7.8 10 of this Plan for residential, mixed use and institutional projects.

### 7.4 Development Standards Applicable to the Entire Downtown Village Specific Plan Area

The following development standards shall apply to all development in the Downtown Village Specific Plan. The Specific Plan area is illustrated and described in Chapter 2.

### 7.4.1 Parking

When a Parking District is established in the Village Center at a future time by the City, applicants may subsequently purchase “in lieu” parking spaces outside of their properties as a substitute or supplement to the provision of onsite spaces.

The pedestrian environment being created through the Specific Plan will create more multiple-purpose trips and walking, as opposed to driving, between some of the destinations resulting in reduced parking requirements for Commercial, Office and Restaurant Uses. If the Village Center Parking District is established, then the following parking ratios shall apply. If the Village Center Parking District is not established, then the current parking provisions of the ~~Zoning Code~~DVSP shall apply.

- 7.4.1.1 General Commercial (retail sales and service): 3.75 spaces per 1,000 square feet of gross building area.
- 7.4.1.2 Professional or Business Office: 3.0 spaces per 1,000 square feet of gross building area.
- 7.4.1.3 Multi-family Residential in the MU 1, MU 2, and Residential Districts<sup>i</sup>:
- Resident Parking:
    - ~~one~~One parking space per bedroom, with ~~no~~less than a maximum of 2 parking spaces per dwelling unit.
    - When multi-family residential development is part of a project with a commercial component, shared parking is permitted
  - Senior Citizen Multi-family Residential Parking:
    - 0 bedrooms/du: 0.5 space/du
    - 1 or more bedrooms/du: 1 space/du
  - Guest Residential Parking:
    - .25 space/du
  - Off-Street Loading: 1 space
- 7.4.1.4 Multi-family Residential in the MU 12 and MU 25 districts, and DVSP-HEIOZ<sup>ii</sup>:
- Resident Parking:
    - 0-1 bedrooms/du: 1 space/du
    - 2 or more bedrooms/du: 2 spaces/du
    - When multi-family residential development is constructed in the DVSP-HEIOZ, parking may be shared between the religious and residential

uses as permitted in Government Code Section 65913.6.

- Senior Citizen Multi-family Residential Parking:
  - 0 bedrooms/du: 4-00.5 space/du
  - 1 or more bedrooms/du: 1 space/du
- Guest Residential Parking:
  - MU 12 and MU 25: 0.25 space/du
  - DVSP-HEIOZ: No minimum required
- Off-Street Loading<sup>iii</sup>: 1 space

7.4.1.4 Restaurants or entertainment establishments or trade schools:


- Where seats are not fixed, one parking space per 60 square feet of floor area available to customers.
- Where seats are fixed, one parking space per each 2.25 seats or 40.5 inches of a fixed bench.
- PLUS, one parking space per 30 square feet of floor area available to customers for carry—out service or customer waiting area.





# 7 Development Standards and Design Guidelines (Draft—July 13September 12, 2023)

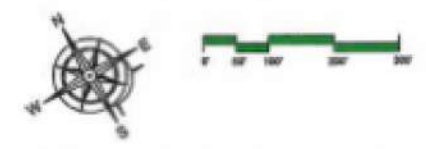


*Note: Building shapes are illustrative and not intended to indicate final design.*

 Subarea 1

 Subarea 2

 Subarea 3



**Figure 7.6: Subareas in the Village Center**

- PLUS, one parking space per 2 employees of the largest shifts.
- 7.4.1.5 Schools and Churches
- Every building used in whole or in part for an elementary school, public or private, having no grade above the eighth, shall have within 500 feet thereof, one parking space for each classroom.
  - Every building used in whole or part for a school for grades nine through twelve shall have one parking space for each classroom, plus one additional space for each 50 pupils.
  - Every building used in whole or part for the gathering of persons for deliberation or worship; or used as a school auditorium of a school in which any pupil is in a grade higher than eight, shall have within 500 feet thereof one parking space for each 5 fixed seats and one space for each 35 square feet of the usable floor area of such auditorium where seats are not fixed, in the largest auditorium used for public assembly. (Eighteen inches of bench seating shall equate to one fixed seat).
- ~~7.4.1.6 Parking for conditional uses and uses not specified: For any conditionally permitted use, or where parking requirements for any use are not specified, parking shall be provided in an amount which the Director of Community Development finds adequate to prevent traffic congestion and excessive on-street parking. Wherever practical, such determination shall be based upon the requirements of the most comparable use specified in this section.~~
- 7.4.1.76 Parking spaces shall not be less than 9 feet in width and 20 feet in depth, except that parking spaces with sides abutting a wall, curb, fence or similar obstruction, shall be a minimum of 11 feet in width.
- 7.4.1.7 Affordable Housing:
- The minimum number of parking spaces provided may be reduced for affordable housing units in accordance with Chapter 11.19 (Affordable Housing Density Bonus) and as otherwise provided for in California Density Bonus Law (Government Code

Sections 65915, et seq.) or as otherwise provided for by Government Code, or under other appropriate circumstances when written evidence justifying the reduction is provided and approved by the decisionmaker.

7.4.1.87 Parking Lot Site Plans: Ninety-degree parking is encouraged throughout the Downtown Village Specific Plan area.

7.4.1.98 Drive-through service lanes: Drive-through service lanes are not permitted in the Downtown Village Specific Plan.

#### 7.4.2 Standards for Parking Structures

Three potential parking structure locations in the Downtown Village Specific Plan are identified in Figure 5.1, Specific Plan Circulation System. Each structure's potential approximate location is identified with a triangle. The following development standards shall apply to parking structure(s) in the Downtown Village Specific Plan:

7.4.2.1 Parking structures shall have a maximum height of 14 feet above the lowest grade level on which the structure is developed. Subterranean parking structures are encouraged, and will be excluded from the calculation of a building's FAR.

7.4.2.2 Parking structures shall be located at least 100 feet away from Foothill Boulevard unless below grade. If below grade parking is provided in a structure adjacent to abutting Foothill Boulevard, then retail shall be provided above the structure to maintain a continuity of retail activity along Foothill Boulevard. Projects with 100% Mmulti-family residential development in the MU-12 and MU-25 Districts and the DVSP-HEIOZ are exempt from this requirement.

7.4.2.3 To maximize ease of use and security, the parking structures shall be constructed with "clear spans" related to each circulation aisle and related double-loaded set of parking stalls, i.e. columns between parking spaces are not allowed.

## 7 Development Standards and Design Guidelines ~~(Draft—July 13~~September 12, 2023)

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Columns between each set of aisles and double loaded parking stalls are allowed.

7.4.2.4 The interior of any parking structure shall be painted with bright, light-reflective color and artificial illumination shall be provided to create a minimum foot-candle level of 5-foot candles on the parking deck.

~~7.4.2.5 Ingress and egress to parking structures shall be from the North Road and/or north-south streets — not Foothill Boulevard. Multi-family residential development in the MU 12 and MU 25 Districts and the DVSP-HEIOZ are exempt from this requirement.~~

### 7.4.3 Parking Lot Landscaping

7.4.3.1 One planter shall be provided at each end of each parking aisle.

7.4.3.2 One additional planter shall be provided for every 10 parking spaces. Except as required for vehicular movement, planter lengths shall equal the length of the adjacent parking spaces. Each planter shall be a minimum of 5 feet in inside width.

7.4.3.3 At least one tree shall be provided per each prescribed planter. At least 25% of the trees shall be 48-inch box size or greater at planting, and an additional 25% of the trees shall be 24-inch box size or greater at planting. All other trees shall be 15-gallon size or greater at planting. Preserve mature trees on the site to the greatest extent possible.

7.4.3.4 Clustering of planters and trees is encouraged throughout parking lots to create a natural appearance and is required in parking lots with 40 or more parking stalls. A cluster is defined as three or more trees. The areas provided or required for clustered plantings shall meet or exceed the planter area required in Section 7.4.5.2.



7.4.3.5 At least 75% of the required trees shall be of species having a mature canopy index of at least 500. (The canopy index is the product of the mature canopy width multiplied by the mature tree height in feet.)

7.4.3.6 Tree Shading: Trees shall be planted and maintained throughout the surface parking lot to ensure that, within 15 years after establishment of the parking lot, at least 50 percent of the parking area will be shaded. Shading should be calculated by using the diameter of the tree crown at 15 years.

- a. Applicable Area: Except as provided below, all surfacing on which a vehicle can drive is subject to shade calculation, including all parking stalls; all drives within the property, regardless of length, and including drive-through lanes; and all maneuvering area, regardless of depth. The following surfaced areas are exempt from this shade requirement: i) truck loading area in front of overhead doors; ii) truck maneuvering and parking areas unconnected to and exclusive of any vehicle parking; iii) surfaced areas not to be used for vehicle parking, driving or maneuvering, provided they are made inaccessible to vehicles by a barrier such as bollards or fencing; and iv) Play areas associated with institutional uses.

- b. Planting Criteria: Each planting area shall be of adequate size for the landscaping approved and shall have adequate irrigation for that landscaping. All landscaping (trees, shrubs, and turf) in these planting areas shall be properly maintained. The Design Commission shall establish a list of species appropriate for providing shade in parking lots and shall review site plans of each parking lot to determine whether or not the lot complies with this Section. Trees planted in order to comply with the regulations of the Section shall be selected from the list prepared by the Design Commission. The Design Commission shall have the discretion to modify tree shading requirements under power lines and other obstructions which prohibit strict compliance with shading requirements, and to give shading credit for photovoltaic arrays, off-site trees and structures, sidewalk canopies, and

other structures, where appropriate.

#### 7.4.4 Bicycle Parking Development Standards

7.4.4.1 Multi-family Residences: Every residential use of 4 or more dwelling units shall provide at least one sheltered bicycle parking space for each dwelling unit. Sheltered bicycle parking spaces may be located within a garage, storage shed, basement, utility room or similar area. In those instances in which the residential complex has no garage or other easily accessible storage unit, the bicycle parking spaces may be sheltered from sun and precipitation under an eave, overhang, an independent structure, or similar cover.

7.4.4.2 Schools: Elementary and middle schools, both private and public, shall provide one bicycle parking space for every 10 students and employees. High schools shall provide one bicycle parking space for every 5 students and employees. All spaces should be sheltered under an eave, overhang, independent structure or similar cover.

7.4.4.3 Commercial: Commercial development greater than one acre in size shall provide one bicycle parking space for every 20 vehicle parking spaces. There shall be a minimum of 10 bicycle parking spaces.

7.4.4.4 Exemptions: These standards do not apply to single family dwelling units.

7.4.4.5 Location and Design: Bicycle parking shall be located conveniently to both the street right-of-way and at least one building entrance. It should be incorporated whenever possible into building design and coordinated with the design of street furniture when it is provided.

7.4.4.6 Visibility and Security: Bicycle parking shall be visible to cyclists from streets, and from sidewalks or building entrances so that it provides sufficient security.

7.4.4.7 Options for Storage: Bicycle parking requirements for long-term and employee parking can be met by providing a bicycle storage room, bicycle lockers, racks or other secure storage space inside or outside of the buildings.

7.4.4.8 Lighting: Bicycle parking shall be at least as well lit as automobile parking for security.

7.4.4.9 Bicycle Path Connections: New development providing bicycle parking north of Foothill Boulevard in the Village Center shall provide on-site bicycle connections from the designated bicycle parking facilities on the site to the dedicated public bicycle path along the North Road.

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### 7.4.5 Lighting

- 7.4.5.1 Exterior lighting for parking and pedestrian walkways shall provide for safety and security without excess lighting and glare. Lighting shall be energy efficient and shall provide warm illumination spectrums to create a more comfortable pedestrian environment.
- 7.4.5.2 Light fixtures on parking lot lights within 100 feet of any residential structure shall include cutoff shields to prevent glare to adjacent abutting residential structures.
- 7.4.5.3 Exterior lighting mounted upon a building shall be subject to design review, and be of minimal intensity, except where oriented toward outdoor areas as security lighting.
- 7.4.5.4 High intensity lighting, such as neon perimeter strips, is not allowed.

### 7.4.6 Freestanding Walls

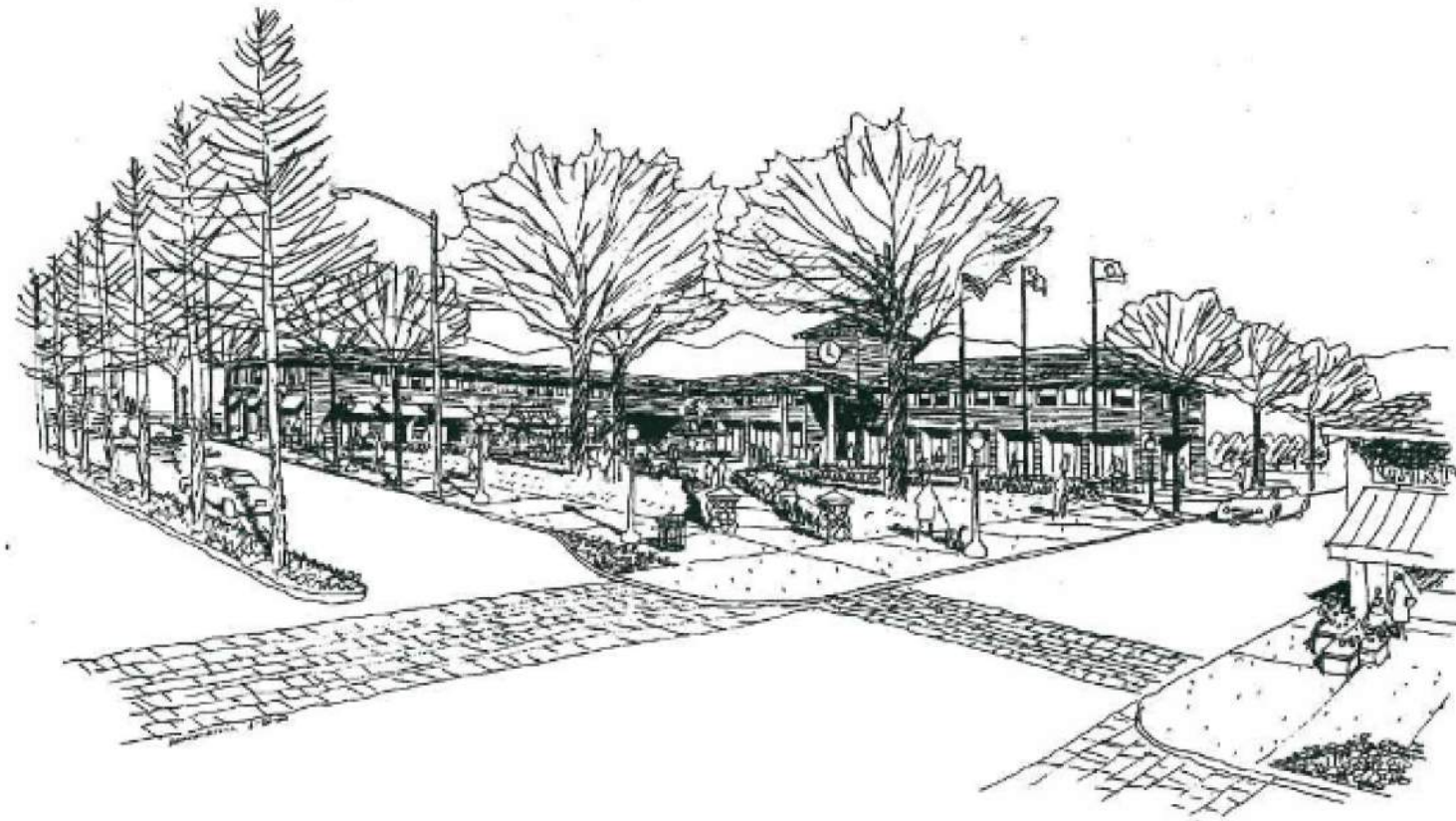
- 7.4.6.1 The use of freestanding walls within the Downtown Village Specific Plan area is not encouraged. Where walls are required for screening purposes, they should be faced with the same material as the primary material of the structure to which the wall is related.
- 7.4.6.2 If walls are required between residential and commercial projects in a mixed use district, the wall shall be 6 feet in height and shall be constructed of solid concrete, brick, stone, plaster over concrete block — whichever materials are harmonious with the residential and commercial projects being separated. In addition, there shall be a 5-foot landscaped buffer between the freestanding wall and the commercial use.

- 7.4.6.3 Retaining walls shall be of the same materials noted above with same materials facing visible portions of walls.

### 7.4.7 Equipment and Utilities

- 7.4.7.1 Freestanding building service equipment shall not be visible from the public streets, shall be located for easily accessible service, and shall be screened to minimize noise impact on neighboring properties.
- 7.4.7.2 Roof-mounted equipment shall be screened from public view from the public streets by integration into the roofs and/or parapet components, and shall be properly located and screened to minimize noise.

- 7.4.7.3 Exterior, wall-mounted equipment shall not be located facing the public streets and shall be designed as an integral part of the building facades facing onto the rear parking areas. Utility conduits shall be integrated within the walls of new structures and meters shall be visible only to the extent required for meter readings by the utility companies.
- 7.4.7.4 No storage area shall be located within 3 feet of windows unless it is screened.
- 7.4.7.5 Utility service lines shall comply with the Underground Utilities Ordinance.



***The Village Square and Civic Center located between Foothill Boulevard and the North Road.  
The Village Square will be a new community gathering place with restaurants,  
shops and a major entrance to the Civic Center at its edges.***



**7.4.8 Refuse Areas**

- 7.4.8.1 At least one screened refuse area shall be provided per development. Refuse areas shall be at least 10 square feet in area per 1,000 square feet of building, or compactors shall be utilized which can compress trash equivalently to the above requirement. Where compactors are utilized, they shall be completely enclosed within walls and a roof.
- 7.4.8.2 Compactor enclosures shall include roof ventilation and shall have drainage lines connecting to the sewer and water spigots for hosing down of compactor enclosures.
- 7.4.8.3 All refuse storage areas shall be accessible for pickup. They shall be located away from public streets at the rear or side of buildings and screened from public view to the extent possible. Where refuse or compactor enclosures must be visible, they shall be thoughtfully designed as an integral part of the rear building façade.

7.4.8.4 For new structures, refuse or compactor enclosures shall be integrated within the rear building facade as opposed to projecting.

- 7.4.8.5 For rehabilitated structures, trash or compactors shall be integrated into the rear building façade if reasonably possible. If it can be demonstrated that integration of the structure within the façade is not possible, then exterior enclosures shall be attached to the building with careful design of the enclosure as an integral part of the appearance of the rear façade. The materials facing the enclosure shall be the same as the primary material of the rest of the façade.

7.4.8.6 Each storage area and the access to it shall be smooth, level concrete and provided with a water line, drain and self-closing gate.

7.4.8.7 Recycling: All projects within the Specific Plan area shall comply with the City's Source Reduction and Recycling Element.

**7.4.9 Outdoor Merchandise Display**

7.4.9.1 Outdoor merchandise displays are subject to approval by the Director of Community Development based on a written description of the proposed display, a site plan and a schedule. Displays shall retain a clear, unobstructed adjacent-adjoining sidewalk area of at least 6 feet in width. Outdoor merchandise displays shall be removed at close of business daily. No permanent display structures are allowed.

**7.4.10 Signage**

7.4.10.1 Building signage shall comply with the Zoning Code. See also the City's Design Options Manual for additional information regarding signage principles as interpreted from the aforementioned ordinances.

**7.4.11 Irrigation and Maintenance**

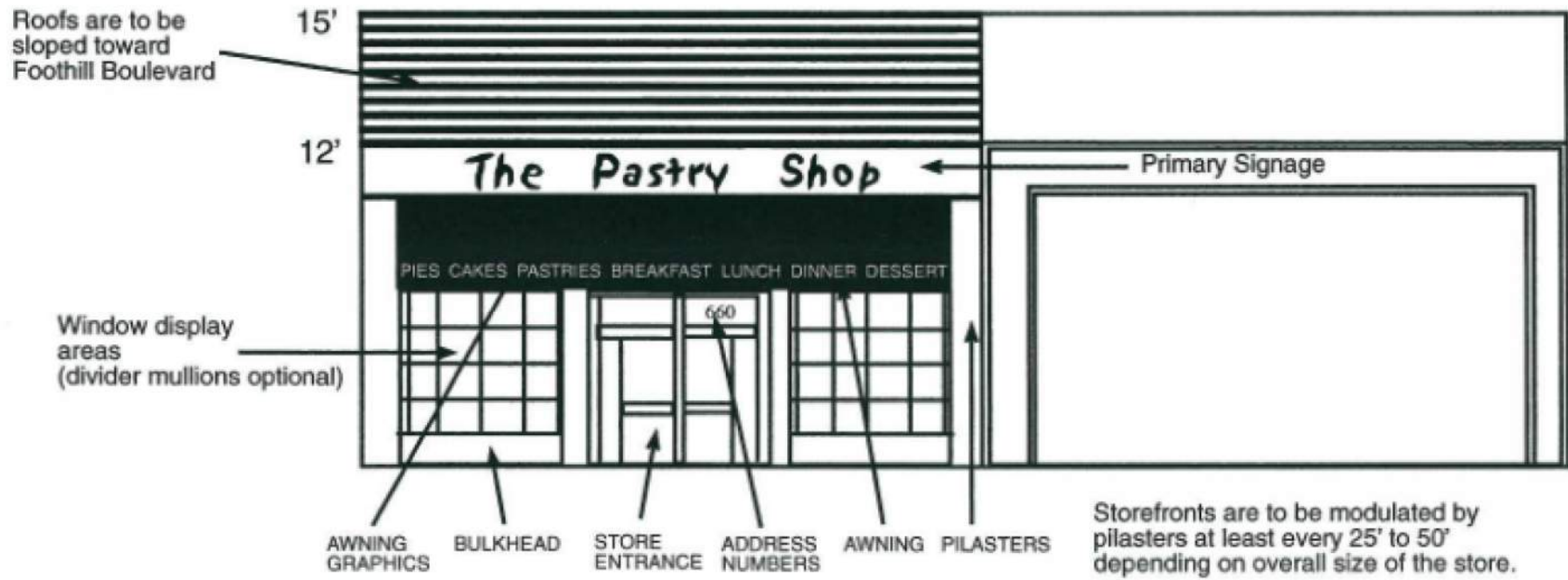
7.4.11.1 Automated underground irrigation shall be provided for all landscaped areas.



*Residential and/or office uses will be located above commercial uses along the North Road.*



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**Figure 7.7: Façade Design - Storefront Elements, Modulation and Signage Locations**



*Blade signage can assist pedestrians and drivers in finding stores while adding interest to the streetscape.*



*A well designed storefront incorporating many of the elements noted in Figure 7.7.*



*Rear facades can also have attractive displays and signage.*

7.4.11.2 All planters shall be permanently maintained with proper care, including weeding, pruning, irrigation and plant replacement as needed to comply with approved landscaping plans.

#### 7.4.12 Tree Preservation

7.4.12.1 Trees on private or public property shall be preserved in accordance with the Municipal Code.

#### 7.4.13 Façade Design

7.4.13.1 Storefronts shall be articulated within the primary rhythm of 15 to 25-foot modules.

7.4.13.2 Window displays should be provided in the modulated storefronts.

#### 7.4.14 Architectural Styles

7.4.14.1 Building designs for all structures 35,000 square feet in area or larger shall be influenced in terms of materials, colors, forms and details by the following architectural styles: Spanish, Mission, Spanish Colonial Revival and Italian Renaissance

7.4.14.2 Building designs for all structures less than 35,000 square feet in area shall be influenced in terms of materials, colors, forms and details by the following architectural styles: Spanish, Mission, Spanish Colonial Revival, Italian Renaissance and Craftsman and Monterey.

7.4.14.3 Examples of typical Craftsman palettes include: wood, stained in warm earth-tone colors; plaster, colored in warm tan or light brown colors; wood shingles, real wood, fire resistance treated and stained a dark: brown or composite shingles simulating the appearance of wooden shingles; brick or stone.

Examples of typical Spanish Revival material and color palettes include: plaster wall surfaces with whites or light pastel tones such as a warm cream; red tiled roofs; trim around windows or doors in either subdued color or brighter accent colors such as blues or green

#### 7.5 Development Standards for Multi-Family Residential Projects in Residential or Mixed Use 2 Districts of the Downtown Village Specific Plan, Except as Otherwise Provided for in the MU 12 and MU 25 Districts and the DVSP-HEIOZ

The following development standards shall apply to all multi-family residential development in the Residential and Mixed Use 2 Districts of the Downtown Village Specific Plan, except as otherwise provided for in the MU 12 and MU 25 Districts and DVSP-HEIOZ.

~~7.5.1 Minimum Lot Size: The minimum lot size for multi-family residential development shall be one acre.~~

7.5.21 Setbacks:

- The front yard setbacks required for a multi-family residential development shall be an average of five feet from the front property line for the ground floor and second floor, and an average of ten feet for the third floor.
- There shall be a minimum rear yard setback of 15 feet for multi-family residential units, or 15 feet when abutting Residential land use district. Although there is no required front or side yard setback, the actual front and side yard setbacks required for a multi-family residential development shall be subject to CUP review and approval of the Planning Commission. In determining the front and side yard setbacks, the Planning Commission shall consider the impact, if any, of the development to the adjacent uses. Any project abutting a Residential land use district shall comply with R-1 building bulk limits along the common boundary.
- Corner side yards shall be an average of five (5) feet for the

ground floor and second floor, and an average of ten (10) feet for the third floor.

- Interior side setbacks shall be zero (0) feet, or when abutting a Residential land use district an average of fifteen (15) feet for the ground and second floors, and an average of 20 feet for the third floor.

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7.5.32 Height: Residential structures shall not exceed two stories, or 24 feet in wall height and 32 feet to the highest point of the roof. Residential structures fronting on Foothill Boulevard in the Village Center shall comply with the height provisions set forth in the Section 7.2.3.

7.5.43 Open Space:

- Common open space shall be provided at a rate of 150 square feet per dwelling unit. All common open space must be outdoor area on the ground which is open to the sky elements and which is designed and used for outdoor living and/or recreation, whether such area is paved or not, except that up to 50 percent of required common open space may be provided as common indoor recreational amenities such as exercise rooms, indoor theaters, or activity rooms.
- Common open space ~~and~~ shall not include parking or vehicle circulation areas. There shall be a minimum outdoor open space (including patios, walkways and planting areas) of 400 square feet per unit. There shall be an average outdoor open space (including patios, walkways and planting areas) of 600 square feet per unit.

### 7.6 Development Standards for Single-Family Residential Projects in the Downtown Village Specific Plan

The following development standards shall apply to all single-family residential development in the Downtown Village Specific Plan.

7.6.1 Minimum Lot Size: The minimum lot size for single-family residential development shall be 5,000 square feet.

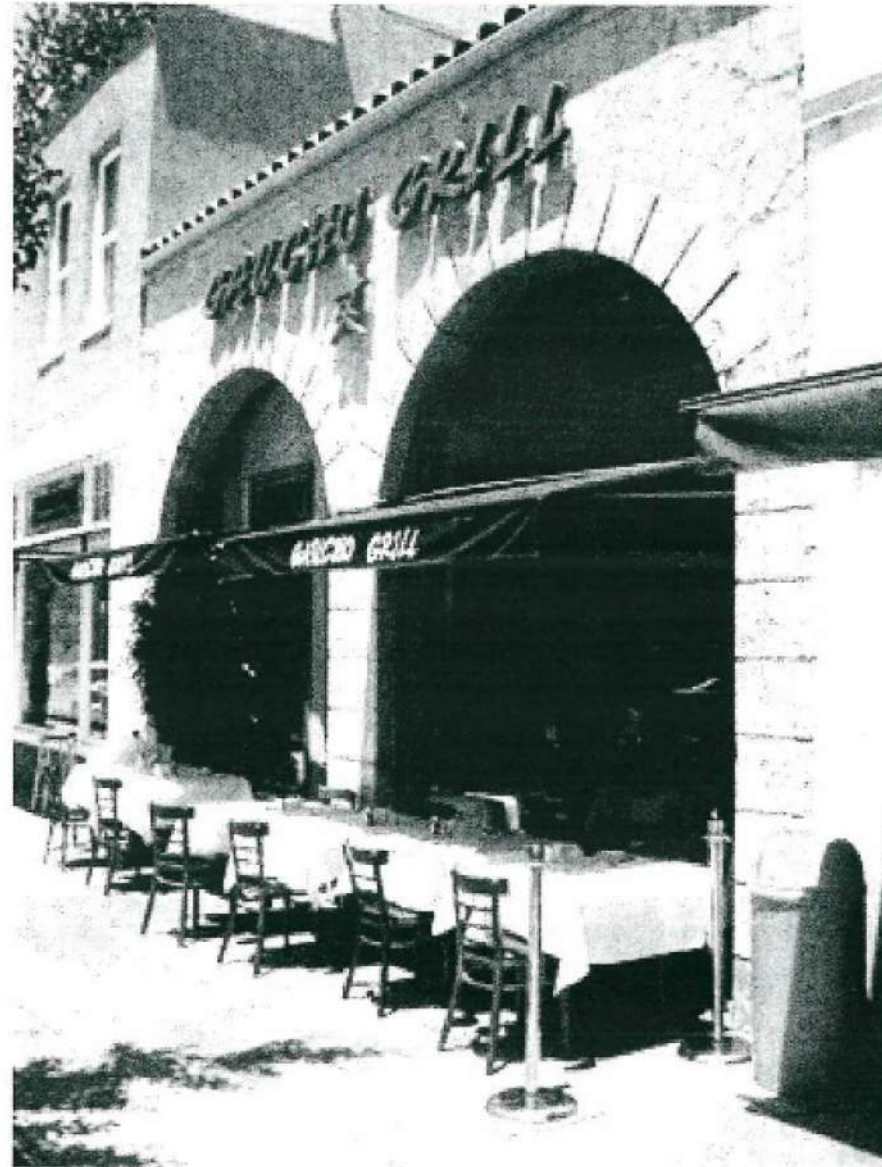
7.6.2 All other development standards shall be as provided for in the Single-family (R-1) Zone of the Zoning Code.

### 7.7 Development Standards for Mixed Use Projects in the Downtown Village Specific Plan

In addition to the standards in Sections 7.2 - 7.4, the following development standards shall apply to all mixed-use development (commercial with residential ~~or~~, commercial with office uses in the same structure, or all residential) in the Downtown Village Specific Plan.



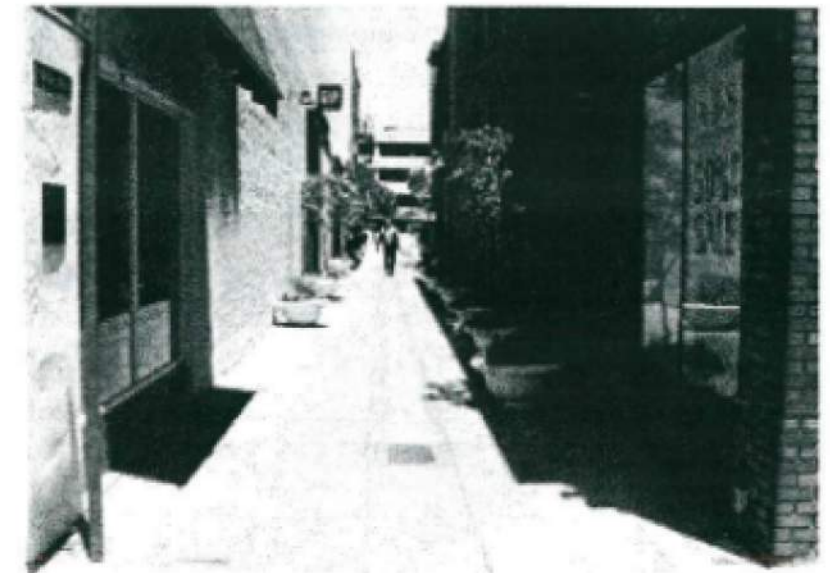
- 7.7.1 Height: The overall height of mixed use and/or residential structures shall not exceed 24 feet for walls and 32 feet to the top of the roof, except that structures in the MU 25 district shall not exceed 35' to the top of the roof. Structures fronting Foothill Boulevard in the Village Center are subject to the height requirements of Section 7.2.3, except as provided for in Sections 7.9 and 7.10.



*Outdoor dining can use a combination of sidewalk space and/or open air setbacks within buildings.*



*Midblock pass-throughs can occur either between or within buildings. They facilitate ease of pedestrian access between parking and shops.*



- 7.7.2 Noise and Vibration: Residential uses shall be located only above commercial uses that do not generate

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substantial amounts of noise or vibration in then operation. Examples of such uses include specialty retail shops and small restaurants. Hours of operation shall be considered by the Planning Commission during the review process for the commercial use.

- 7.7.3 Residential or office uses over commercial uses on the North Road shall be designed such that noise and vibration transmissions between vertically and horizontally separated uses is minimized by appropriate construction techniques, including density of separation materials, isolation of structural and/or mechanical elements, and other appropriate building code measures.

The following development standards shall apply to all residential development in the Mixed Use 1 District, ~~wherein—when~~ residential units are located above ground floor commercial uses:

- 7.7.4 Unit Footprints: Upper level residential units shall not project beyond the ground level, commercial building footprint except for balconies or bay windows.
- 7.7.5 Balconies and Bay Windows: Balconies and Bay Windows may project up to 4 feet beyond the ground floor commercial building and over the public sidewalks along the North Road.

### 7.8 Development Standards for Institutional Projects in the Downtown Village Specific Plan

The following development standards shall apply to Institutional Projects in the Downtown Village Specific Plan.

- 7.8.1 The Civic Center shall be located north of Foothill Boulevard and south of the North Road, contiguous with and visually and functionally related to the Village Park. The Civic Center shall be located north of the Village Park so as to minimize impacts on views of the mountains to the north.

- 7.8.2 Other Institutional Uses: All other institutional uses shall comply with the provisions of the Public/Semi-Public Zone of the ~~toning~~ Zoning Code.

### 7.9 Development Standards for Multi-Family Residential Projects in Mixed Use 12 and Mixed Use 25 Districts of the Downtown Village Specific Plan

The following development standards shall apply to all multi-family residential development in the MU 12 and MU 25 Districts. Development standards not included below shall be as provided in this Specific Plan or Title 11 (Zoning Code) of the LCFMC.

- 7.9.1 Minimum Lot Size: No minimum lot size is required for multi-family residential development.

#### 7.9.2 Setbacks<sup>iv</sup>:

- The front yard setbacks required for a multi-family residential development shall be an average of five feet from the front property line for the ground floor and second floor, and an average of ten feet for the third floor.
- There shall be a minimum rear yard setback of 5 feet for multi-family residential units, or 15 feet when abutting a Residential land use district. Any project abutting a Residential land use district shall comply with R-1 building bulk limits along the common boundary.
- Corner side yards shall be zero feet, or fifteen (15) feet when abutting a Residential land use district.
- Interior side setbacks shall be zero feet, or an average of fifteen (15) feet when abutting a Residential land use district for the ground and second floors, and an average of 20 feet for the third floor.
  - ~~—Setbacks shall be either contiguous with the front property line or up to an average of 10 feet from the front property line.~~
  - ~~—Rear setbacks of a minimum of 15 feet shall be provided for multi-family development adjacent to residential zones on the south side of Foothill Boulevard.~~
  - ~~—Corner (exterior) setbacks shall be a minimum of 5 feet~~

~~from the property line.~~

#### 7.9.3 Building Height<sup>v,vi</sup>

- MU 12 District: 2 stories and 25' maximum roof height
- MU 25 District: 3 stories and 35' maximum roof height

#### 7.9.4 Open Space:

- Common open space shall be provided at a rate of 150 square feet per dwelling unit. All common open space must be outdoor area on the ground which is open to the elements and which is designed and used for outdoor living and/or recreation, whether such area is paved or not, except that up to 50 percent of required common open space may be provided as common indoor recreational amenities such as exercise rooms, indoor theaters, or activity rooms.
- Common open space shall not include parking or vehicle circulation areas.
- ~~—Private Open Space<sup>vii</sup>: 50 sq ft/du~~
- ~~—Common Open Space<sup>viii</sup>: 150 sq. ft./du~~

### 7.10 Downtown Village Specific Plan (DVSP)-Housing Element Implementation Overlay Zone (HEIOZ)

Certain sites in the Institutional district that are owned by religious organizations and that are included in Appendix C of the 6th Cycle Housing Element are designated with the Downtown Village Sepcific Plan (DVSP) Housing Element Implementation Overlay Zone (HEIOZ), or DVSP-HEIOZ. The DVSP-HEIOZ allows, but does not require, these sites to be developed with multi-family residential units that meet minimum affordability requirements, as long as the religious facility operates a religious use on a minimum of ten (10) percent of the site. The following development standards apply to the DVSP-HEIOZ.

The following development standards shall apply to all multi-family residential development in the DVSP-HEIOZ. Development standards not included below shall be in accordance with the standards in the Institutional district.

- 7.10.1 Minimum Lot Size: No minimum lot size is required for multi-family residential development.

#### 7.10.2. Setbacks:

- The front yard setbacks required for a multi-family residential development shall be an average of five feet from the front property line for the ground floor and second



- floor, and an average of ten feet for the third floor.
- There shall be a minimum rear yard setback of 5 feet for multi-family residential units, or 15 feet when abutting a Residential land use district. Any project abutting a Residential land use district shall comply with R-1 building bulk limits along the common boundary.
  - Corner side yards shall be an average of five (5) feet for the ground floor and second floor, and an average of ten (10) feet for the third floor.
  - Interior side setbacks shall be zero feet, or an average of fifteen (15) feet when abutting a Residential land use district for the ground and second floors, and an average of 20 feet for the third floor.
    - ~~Setbacks for multi family residential structures along Foothill Boulevard shall be either contiguous with the front property line or up to an average of 10 feet from the front property line.~~
    - ~~Rear setbacks of a minimum of 15 feet shall be provided for multi family development adjacent to residential zones on the south side of Foothill Boulevard.~~

#### 7.10.3 Building Height:

- 3 stories and 35' maximum roof height<sup>v,vi</sup>

#### 7.10.4 Open Space:

- Common open space shall be provided at a rate of 150 square feet per dwelling unit. All common open space must be outdoor area on the ground which is open to the elements and which is designed and used for outdoor living and/or recreation, whether such area is paved or not, except that up to 50 percent of required common open space may be provided as common indoor recreational amenities such as exercise rooms, indoor theaters, or activity rooms.
- Common open space shall not include parking or vehicle circulation areas.
  - Open space requirements:
    - Private Open Space<sup>vii</sup>: 50 sq ft/du
    - Common Open Space<sup>ix</sup>: 150 sq. ft./du

#### 7.119 Design Guidelines for the Downtown Village Specific Plan

The following design guidelines are suggested to supplement the requirements of the development standards. The design guidelines are not required to apply to the MU 12 and MU 25 districts and the DVSP-HEIOZ

- 7.119.1 Store entries from both Foothill Boulevard and the parking areas behind the stores along Foothill Boulevard are encouraged.
- 7.119.2 Infill of small, one-story structures along Foothill Boulevard is encouraged to enhance the continuity of the pedestrian experience. (Buildings shown with double outline in Figure 7.1)
- 7.119.3 Outdoor dining is encouraged along the sidewalks of Foothill Boulevard, the North Road and at the edge of the Village Square. A minimum of five feet passage shall be maintained for pedestrians at all times. Outdoor dining may occupy up to fifty (50) percent of the sidewalk right-of-way. The exact layout for outdoor dining shall be subject to Design Review and shall take into consideration the location of street trees and street furniture to ensure that pedestrian flow is not impeded. Planning Commission review is required for outdoor speakers.
- 7.119.4 Open air setbacks in commercial structures are permitted. Interior entrances to ground floor retail may be set back to allow for outdoor use. Examples include outdoor dining, display, or entry forecourts. Elements defining the wall plane at the sidewalk line are required for such setback.
- 7.119.5 Mid-block pass-throughs, either within structures or exterior, are encouraged to provide ease of access to parking areas and add interest to the pedestrian experience.
- 7.119.6 Shared compactor areas within blocks are encouraged.
- 7.119.7 Lighting of building facades and landscaping is encouraged.
- 7.119.8 Design review of multi-family residential developments in the Downtown Village shall include factors intended to achieve high quality, up-scale residential development including:
- An appropriate number of units per building to avoid a massive appearance to the project.

- Consideration of the immediate edges of residential projects according to the variety of edge conditions including Foothill Boulevard, the North Road, the freeway, ~~adjacent~~ adjoining non-residential uses and edges with existing ~~single family residential areas~~ R-1 land use districts south of Foothill Boulevard.
- Larger unit sizes with generous patios.

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*Outdoor dining can be completely within the public right-of-way.*

<sup>i</sup> The minimum number of parking spaces provided may be reduced for affordable housing units in accordance with Chapter 11.19 (Affordable Housing Density Bonus) and as otherwise provided for in California Density Bonus Law (Government Code Sections 65915, et seq.) or as otherwise provided for by Government Code, or under other appropriate circumstances when written evidence justifying the reduction is provided and approved by the decisionmaker.

<sup>ii</sup> The minimum number of parking spaces provided may be reduced for affordable housing units in accordance with Chapter 11.19 (Affordable Housing Density Bonus) and as otherwise provided for in California Density Bonus Law (Government Code Sections 65915, et seq.) or as otherwise provided for by Government Code, or under other appropriate circumstances when written evidence justifying the reduction is provided and approved by the decisionmaker.

<sup>iii</sup> A minimum of 1 off-street loading space shall be provided to ensure adequate area to accommodate loading and unloading for moving trucks, delivery vehicles, ride-sharing vehicle pick-up and drop-off, and other similar activities, consistent with the size of the development, to the satisfaction of the Director of Community Development. Such space(s), whether provided inside or outside a building, shall be in addition to the number of parking spaces otherwise required in this chapter. The off-street loading space(s) shall be designed so as not to impede normal vehicular and pedestrian circulation.

<sup>iv</sup> A ground-level porch, uncovered or covered and open on three sides, may encroach into a required setback by up to 50 percent of the required setback.

<sup>v</sup> For any building or building segment located within 50 feet of a street right-of-way, building height shall not exceed the height identified for the land use district, measured from the curb elevation adjacent the building or building segment to the highest point of the building or building segment. Where a lot has frontage on two or more streets, height shall be measured in relation to the lowest curb elevation adjacent to the building or building segment. For any building or building segment located in excess of 50 feet from a street right-of-way, no portion of a building or building segment shall exceed the height identified for the land use district by more than twenty (20) percent. For purposes of this requirement, height shall be measured from the existing grade or adjacent finished grade, whichever is lower, to the highest point of the building or building segment. To determine compliance with this section, the Community Development Director may require applicants to submit a topographic survey of the project site, and, if necessary, portions of adjacent sites, prepared by a licensed surveyor or licensed civil engineer, depicting existing contours and the contours of finished grade, if different from existing grade, at elevation change intervals no greater than five feet (5'). Survey measurements also shall indicate the elevations of adjoining curbs or street pavements if no curb exists.

<sup>vi</sup> Appurtenances may exceed the height limit up to 15' for up to 2520% of total roof area. For the purposes of this chapter, appurtenances are defined as: a tower, spire, cupola, dome, chimney, mechanical equipment, elevator tower, stairwell, pool equipment, fire equipment, ventilating fans, water tanks, cooling towers, solar panels or the structure to support solar equipment in compliance with state law, guard rails required by the building code for rooftop decks or terraces, permanent trellises and shade structures on rooftop decks or terraces, or other features determined by the Director of Community Development to be similar.

<sup>vii</sup> Any private open space provided to meet the required private open space standard shall comply with the following requirements:

- Shall have a minimum level surface dimension of four (4) feet.
- Shall abut the unit that it serves and shall be directly accessible from that unit without having to enter a common area.
- Shall be designed in a manner to prohibit use as common open space (e.g., provided with a railing, minimum forty-two (42) inch wall, etc.).
- a. Shall not include parking or vehicle circulation areas.

<sup>viii</sup> Any common open space provided to meet the required common open space standard in the MU 12 and MU 25 Districts shall comply with the following requirements:

- a. Must be designed and used for active or passive recreational purposes.
- b. Must be easily accessible to all residents within the project.
- c. Shall not include parking or vehicle circulation areas or mechanical equipment.
- d. Shall have a minimum level surface dimension of 10 feet.
- e. A community garden may provide up to 20 percent of the total required common open space.
- f. Rooftop decks and terraces may be used to satisfy this requirement.

<sup>ix</sup> Any common open space provided to meet the required common open space standard in the DVSP-HEIOZ shall comply with the following requirements:

- a. Must be designed and used for active or passive recreational purposes.
- b. Must be easily accessible to all residents within the project.
- c. Shall not include parking or vehicle circulation areas.
- d. Shall have a minimum level surface dimension of 10 feet.
- e. A community garden may provide up to 20 percent of the total required common open space.
- f. Rooftop decks and terraces may be used to satisfy this requirement.
- g. Notwithstanding the standards above, open space on the religious facility portion of the site that is made available to the residential portion of the development (via a development agreement or other similar instrument) may be counted toward up to 50% of the required open space for the residential portion.